

SPECIFICATIONS

MECHANICAL

- 1) Supply:
 - (a) To provide and install wall to roof metal and steel angle.
- 2) Piping:
 - (a) Supply mechanical registers & hoodlets.
 - (b) Blank groms and vents.
 - (c) Coordinate with mechanical, plumbing, and electrical for suitable clearance & surface.
 - (d) Per USC 1985, provide clean, unobstructed, and true walls.
 - (e) Provide overall finishing, painting, & surface.
 - (f) Install ceiling electrical wire and run as needed to provide even (level) at interior.
 - (g) Wall finish to 1/4".
 - (h) Install exterior doors - meet reveal 1/8".
 - (i) Walls shall clean and safe daily and thoroughly clean before assembly.
- 3) Drywall:
 - (a) Keep all electrical boxes clean.
 - (b) Remove wallpaper.
 - (c) Keep all electrical boxes clean.

BRICK

- 1) 1/2" x 1"
- 2) Central duct and brickwork.

CONCRETE

- 1) Per USC 1985.
- 2) Block and stem walls shall be 1/2" x 8".
- 3) Wall finish to 1/4" x 1/4".
- 4) Break off all sand lines.
- 5) Patch holes, honeycomb, etc.
- 6) Install wire per USC 1985(f) or expansion anchors.
- 7) Clean up form lumber, staves, cables, trash.
- 8) Control joints provided by masonry.
- 9) Install all hardware according to concrete (leave about 1/2" hole & embed on site for framing subcontractor).
- 10) Provide leveling out for steel columns.
- 11) Provide expansion joints.
- 12) Concrete to be properly consolidated; no "stacking".
- 13) Rebar to have complete finish and provide 3/8" x 3/8" proper drainage to prevent "bleeding".

PLUMBING

- 1) Per USC 1985.
- 2) Per USC 1985 for tracking and marking.
- 3) Clean up daily - pipe cut off, related trash, wood shavings from boring, chipping, & picture house.
- 4) Eliminate requirement for 10" x 10" access by providing recessed joints per USC 1985(d).
- 5) Provide G.C. with gas pipe (aluminum) water pipe also.
- 6) Do not use G.C. sewer pipe (see USC 1985).
- 7) Temperature 60°.
- 8) Temp. water.
- 9) Requiring cross-hair pipes, backfill and compact to original condition.
- 10) Provide roof drains.
- 11) G.I. - regarding site drainage.

ELECTRICAL

- 1) Per USC 1985.
- 2) Clean up daily similar to plumbing note.
- 3) Wireways - separate ducts.
- 4) Provide temporary power.
- 5) Provide phone and cable rough in.
- 6) Wire for dryer and range.

PAINTING

- 1) Remove all contamination prior to coating.
- 2) Loosen and remove dirt with bristle brush, air, or water.
- 3) Remove oil & grease with solvent or detergent.
- 4) Remove alkaline with diluted water 1:10.
- 5) Clean concrete floors with detergent and 10% muriatic acid.
- 6) Cure concrete for 30 days - check for excessive moisture.
- 7) Concrete sub is responsible to make sure concrete is completely cured before painting.
- 8) Remove gravel, dust prior to coating.
- 9) Galvanized metal weathered & remove solvent cleaning.
- 10) Remove oil, wax, grease, etc. (alkaline, conventional).
- 11) Prime metal surfaces.
- 12) Prime metal connections.
- 13) Temperature to be 50-100 degrees F.
- 14) Walk for second coat.
- 15) Dry film thickness 2 coats - 5 mils.
- 16) Impact & approve surface prior to each coat.
- 17) Prime roof, joist and girders.
- 18) No overpray onto angles or windows.

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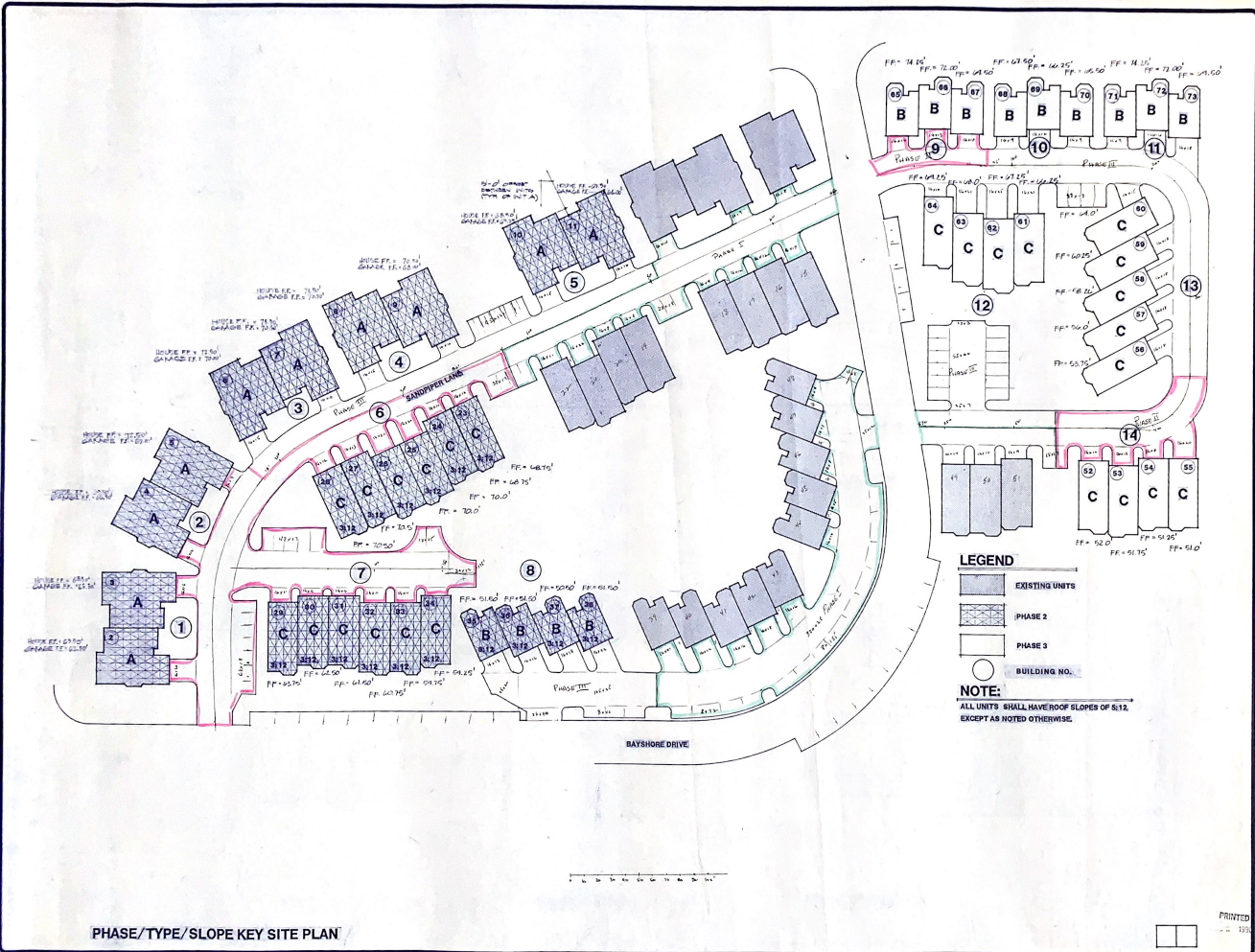


Contract documents prepared in accordance with the Standard Contract Documents published by the American Institute of Architects, Inc. (AIA) and the California State Bar Association. The contract documents shall be read in conjunction with the project program, specifications, and drawings. The contract documents shall be subject to the terms and conditions of the contract documents published by the American Institute of Architects, Inc. (AIA) and the California State Bar Association.

BAY SHORE VILLAGE
 MORRO BAY
 CALIFORNIA

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 (805) 944-4445

DRAWING SHOWS APPROXIMATE LOCATIONS OF UNITS. EXISTING UNITS ARE SHOWN WITH HATCHING. UNITS TO BE CONSTRUCTED IN PHASE 2 ARE SHOWN WITH DOTTED HATCHING. UNITS TO BE CONSTRUCTED IN PHASE 3 ARE SHOWN WITH SOLID HATCHING. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

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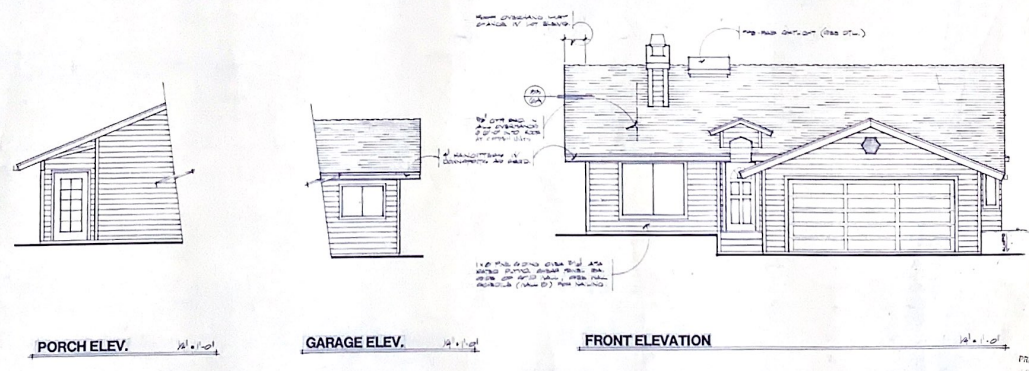
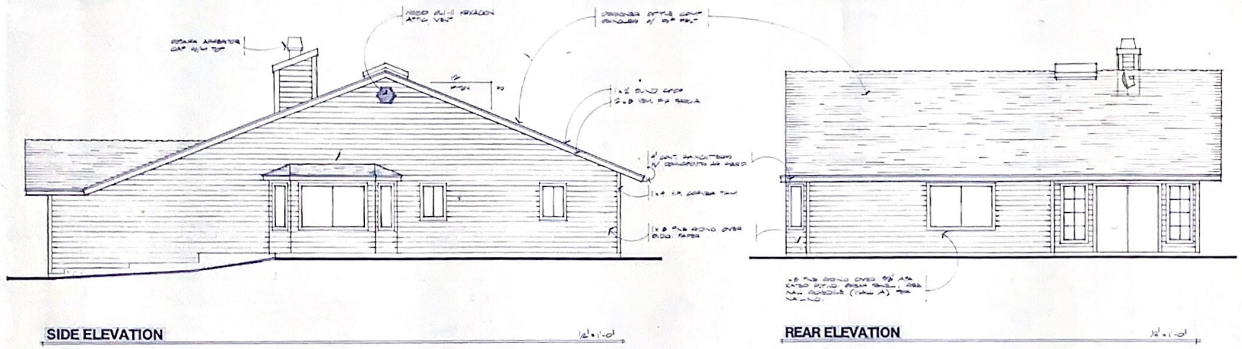
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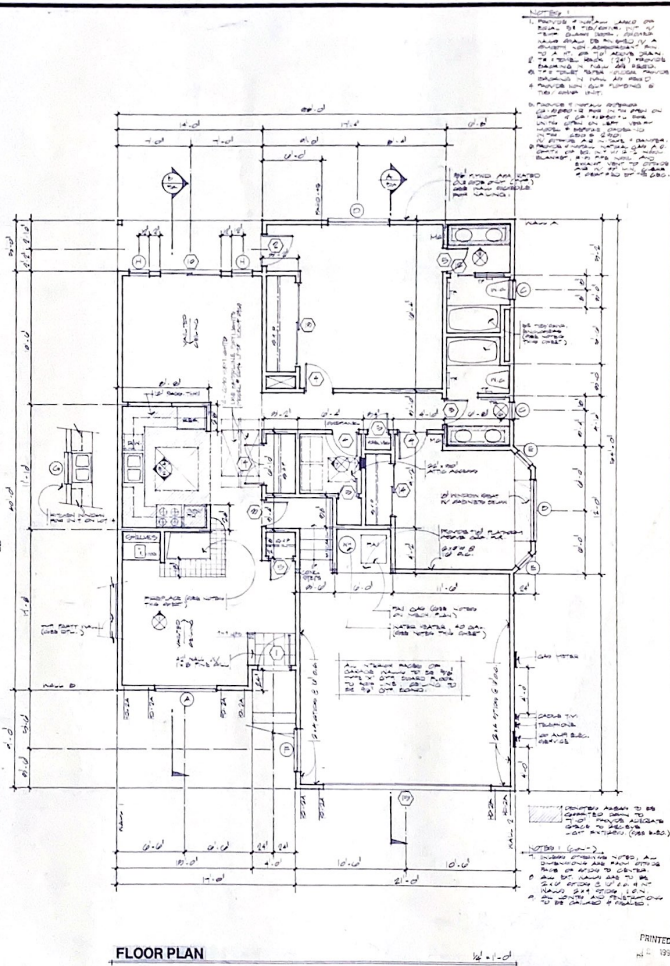
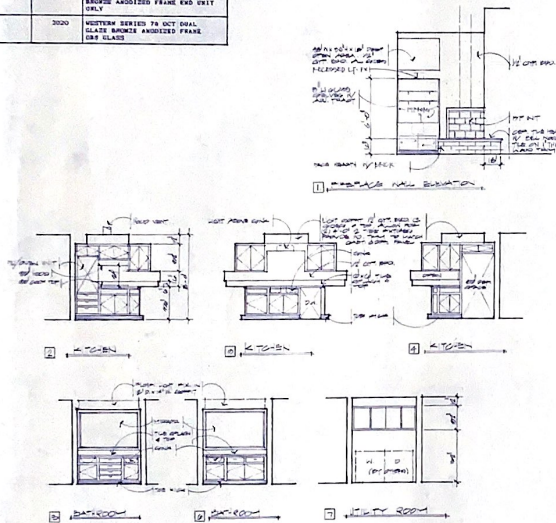
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WINDOW SCHEDULE		
NUMBER	SIZE	NOTES
1	60x24	WESTERN SERIES 78 DUAL GLASS SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
2	30x20	WESTERN SERIES 78 DUAL GLASS SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
3	20x20	WESTERN SERIES 78 DUAL GLASS SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
4	20x40	WESTERN SERIES 78 DUAL GLASS SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
5	18x20	FIXED GLASS PICTURE WINDOW DUAL GLASS, BRONZE ANODIZED FRAME
6	40x20	WESTERN SINGLE GLASS SINGLE HUNG BRONZE ANODIZED FRAME
7	40x30	WESTERN SERIES 78 DUAL GLASS SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
8	30x24	WESTERN SERIES 78 DUAL GLASS SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
9	10x20	FIXED PANEL DUAL GLASS BRONZE ANODIZED FRAME WITH MULLIONS
10	30x10	WESTERN SERIES TOP DUAL GLASS BRONZE ANODIZED FRAME END EXIT ONLY
11	30x20	WESTERN SERIES 78 DUAL GLASS SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS

DOOR SCHEDULE		
NUMBER	SIZE	NOTES
1	20x24	STANDARD 8-2020 ENTRANCE DOOR OR EQUAL
2	20x24	STANDARD 8-2020 WITH 10 LITE GRILL OR EQUAL
3	24x6	SOLID CORE 6 PANEL RADOMITE DOOR WITH SELF CLOSURE AND LIGHTS
4	24x6	HOLLOW CORE 6 PANEL RADOMITE
5	24x6	HOLLOW CORE 4 PANEL RADOMITE
6	30x6	BI-PASS HOLLOW CORE RADOMITE
7	40x6	BI-PASS HOLLOW CORE RADOMITE
8	20x6	SOLID CORE (FLAT) STORAGE
NUMBER	SIZE	NOTES
9	24x6	SOLID CORE 6 PANEL DOOR WITH SELF CLOSURE
10	60x6	TEMP DUAL GLASS BRONZE AND SILVER WITH MULLIONS
11	24x6	STANDARD 8-2020 WITH 10 LITE GRILL OR EQUAL
12	24x6	HOLLOW CORE 6 PANEL RADOMITE DOOR WITH MULLIONS
13	60x6	HOLLOW CORE RADOMITE BI-PASS
14	16 x 2 1/2	WOOD OVER HEAD TRACT SECTIONAL DOOR SLAUGHTER FRAMES



FLOOR PLAN

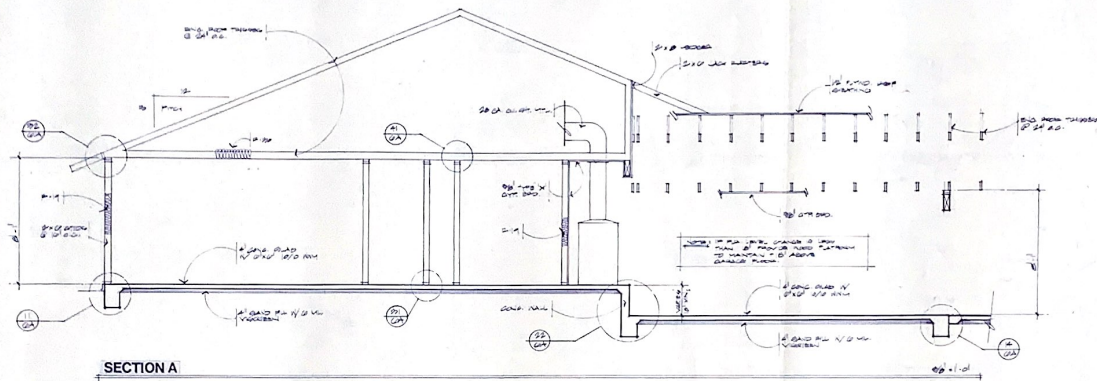
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California 93401
1805 345-1414

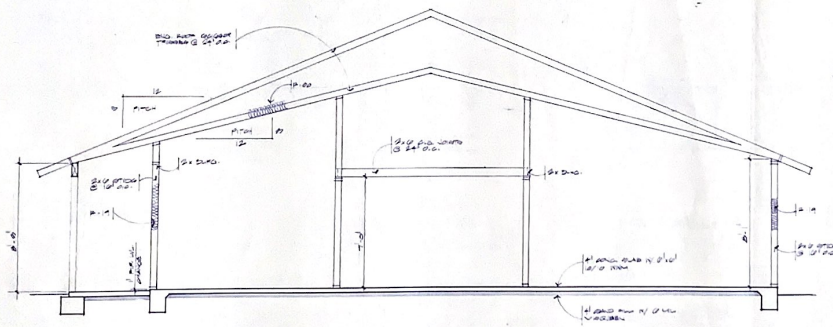
STANDARD HOME INSULATION...
...WITH THE PROPERTY OF...
...ON USE IN CONNECTION...
...THE ARCHITECT'S DESIGN...
...OR ACCEPTANCE OF THESE...
...RESTRICTIONS.

BAY SHORE VILLAGE
MORRO BAY
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UNIT A

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SECTION A



SECTION B

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 San Jose, CA 95128
 California 100
 (408) 543-4145

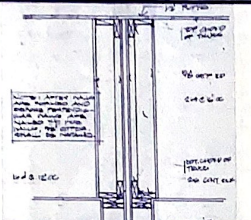
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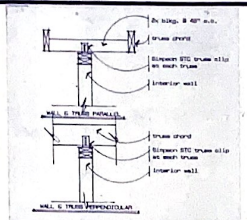
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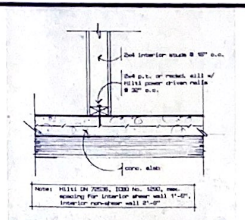
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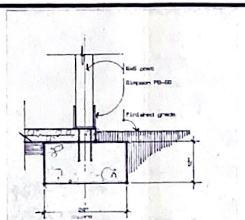
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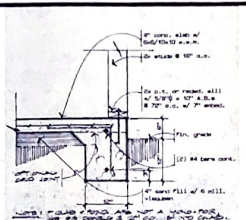
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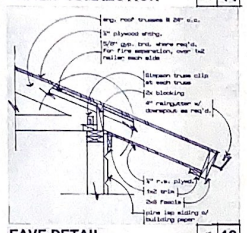
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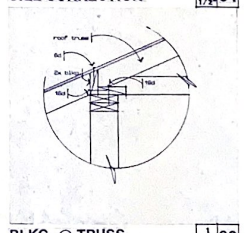
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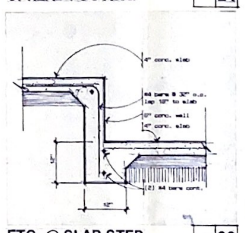
PERIMETER FOOTING 1" 11



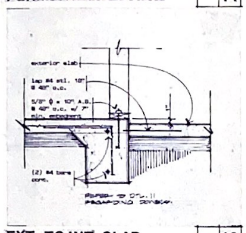
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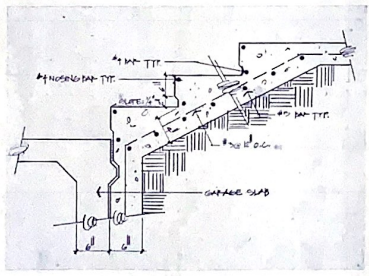
BLKG. @ TRUSS 1 1/2" 32



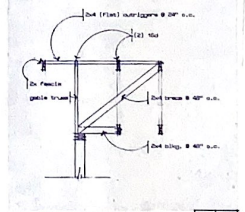
FTG. @ SLAB STEP 1" 22



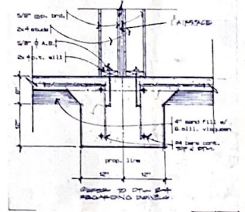
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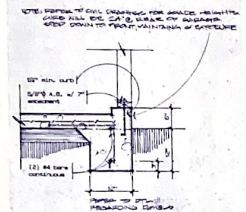
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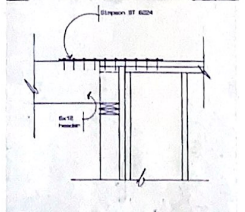
TRUSS BRACING 1 1/2" 33



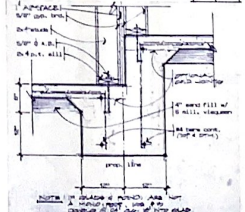
PARTY WALL FTG. 1" 23



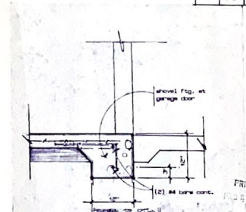
GARAGE FOOTING 1" 13



STRAP CONNECTION 1 1/2" 34



STEP PARTY WALL FTG. 1" 24



GARAGE FOOTING 1" 14

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UNIT A
BAY SHORE VILLAGE
 CALIFORNIA
MORRO BAY

6
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MECHANICAL NOTES

1. All mechanical equipment shall be installed in accordance with the manufacturer's instructions and applicable codes.
2. All equipment shall be installed in accordance with the manufacturer's instructions and applicable codes.
3. All equipment shall be installed in accordance with the manufacturer's instructions and applicable codes.
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PLUMBING NOTES

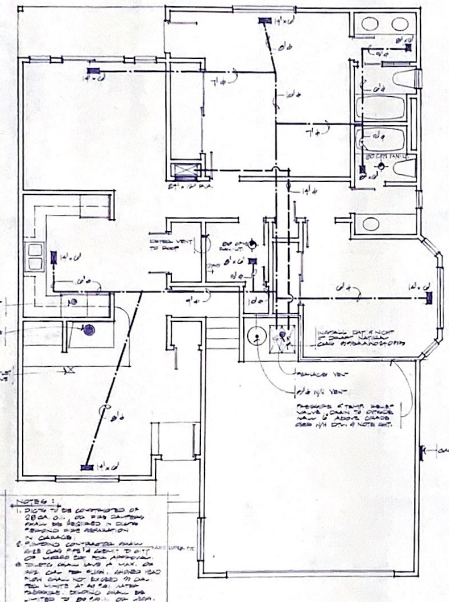
1. All plumbing work shall be installed in accordance with the manufacturer's instructions and applicable codes.
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4. All plumbing work shall be installed in accordance with the manufacturer's instructions and applicable codes.
5. All plumbing work shall be installed in accordance with the manufacturer's instructions and applicable codes.

LEGEND

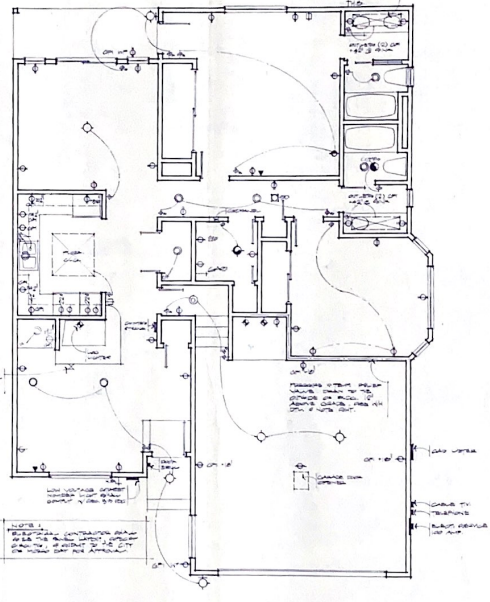
- RELEASED FIX
- GULL FIX
- WALL MOUNT FIX
- CEILING MOUNT
- IN-TIME SELECTION BY OWNER

ELECTRICAL NOTES

1. All electrical work shall be installed in accordance with the manufacturer's instructions and applicable codes.
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MECHANICAL PLAN



ELECTRICAL AND PLUMBING PLAN

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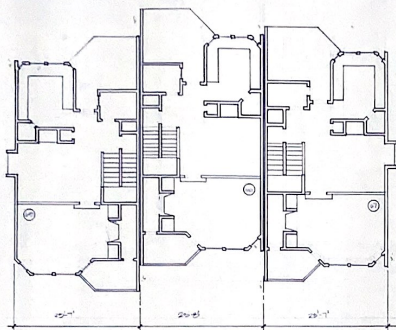
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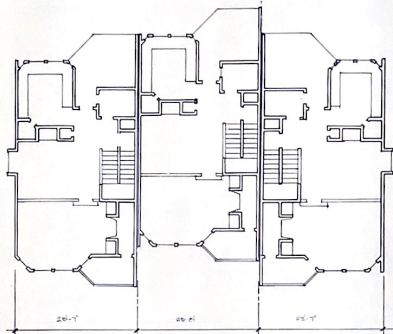
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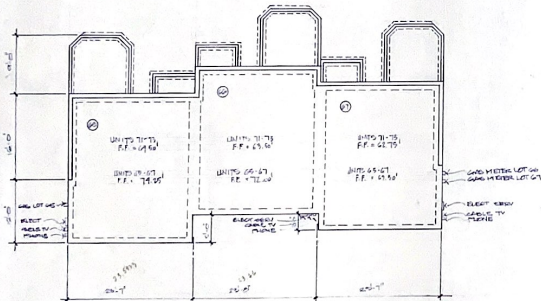
UNITS 71-73 FIRST FLOOR
UNITS 65-67 FIRST FLOOR

UNITS



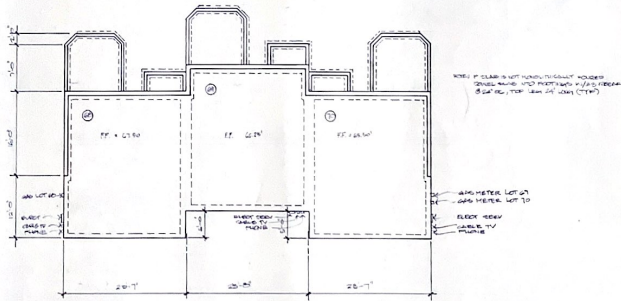
UNITS 68-70 FIRST FLOOR

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UNITS 71-73 FOUNDATION PLAN
UNITS 65-67 FOUNDATION PLAN

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UNITS 68-70 FOUNDATION PLAN

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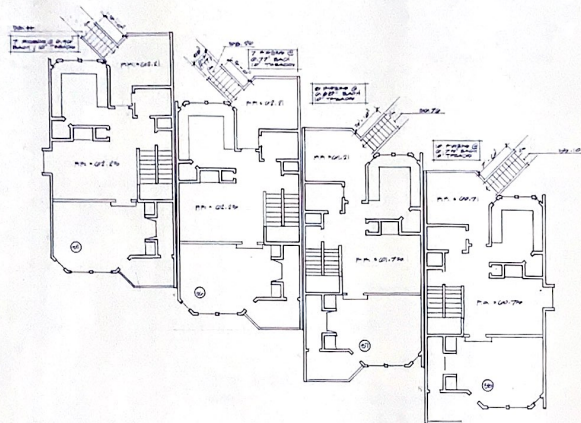
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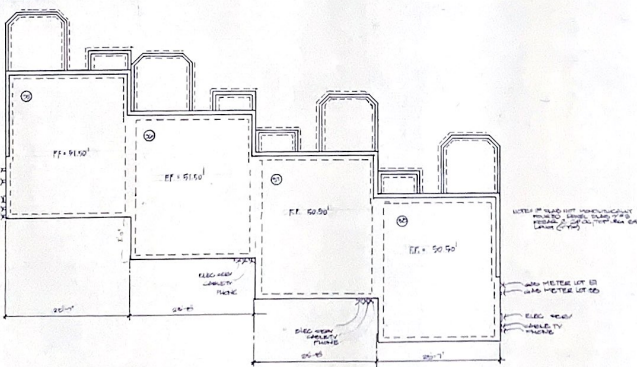
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UNITS 35-38 FIRST FLOOR



UNITS 35-38 FOUNDATION PLAN

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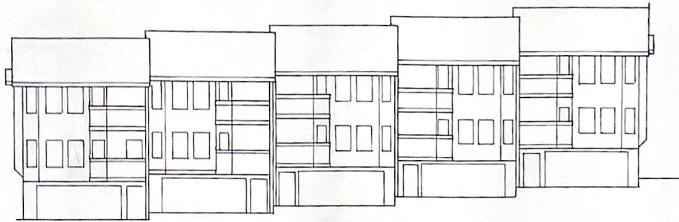
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DATE	BY

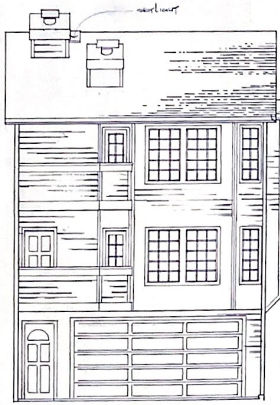
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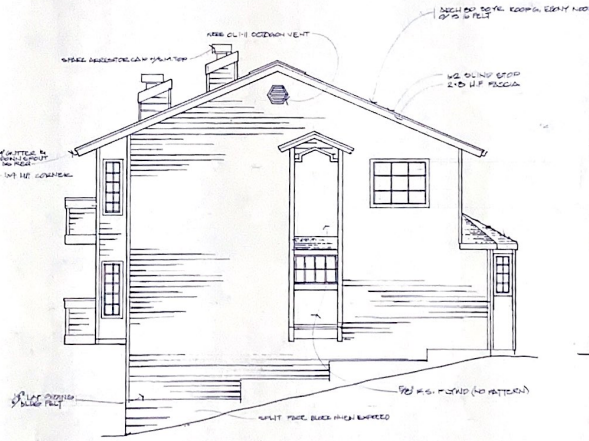
CLUSTER ELEVATION

UNIT B



BACK ELEVATION

UNIT B



END ELEVATION

UNIT B



FRONT ELEVATION

UNIT B

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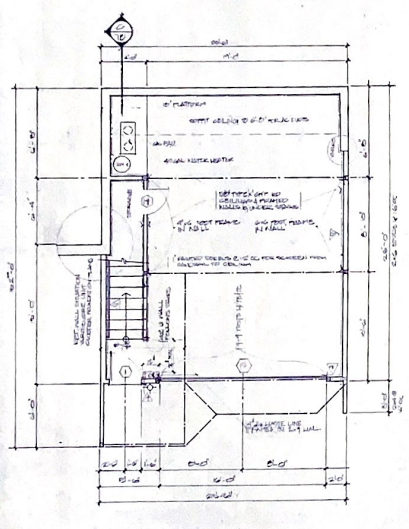
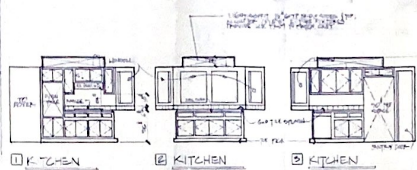
DOOR SCHEDULE

NUMBER	SIZE	NOTES
1	30x6	MIDSPANAL 9'-0"00 ENTRANCE DOOR ON EXTERIOR
2	28x8	MIDSPANAL 8'-0"00 WITH 10 LITE SILL ON EXTERIOR
3	28x8	SOLID WOOD 8' PANEL HARDWITE DOOR WITH SELF-CLOSING
4	24x8	HOLLOW CORE 8' PANEL HARDWITE
5	24x8	HOLLOW CORE 8' PANEL HARDWITE
6	30x6	BI-PASS HOLLOW CORE HARDWITE
7	40x8	BI-PASS HOLLOW CORE HARDWITE
8	20x8	SOLID CORE (FLAT) STORAGE
NUMBER	SIZE	NOTES
9	28x8	SOLID CORE 8' PANEL DOOR WITH SELF-CLOSING
10	40x8	TEMP. DOOR GLASS BRONZE AND SLIDER WITH MULLIONS
11	28x8	MIDSPANAL 8'-0"00 WITH 10 LITE SILL ON EXTERIOR
12	24x8	HOLLOW CORE 8' PANEL HARDWITE PICKET DOOR
13	40x8	HOLLOW CORE HARDWITE BI-PASS
14	28x8	HOLLOW CORE HARDWITE PANEL
15	14 x 7	DOOR OVER HEAD TRACT MULTIGRAN DOOR

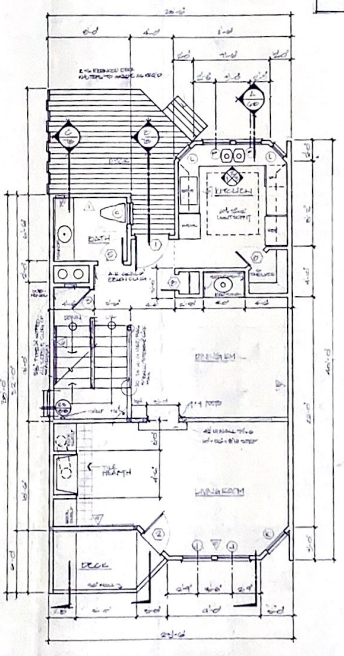
WINDOW SCHEDULE

NUMBER	SIZE	NOTES
A	6000	WESTERN SERIES 79 DOAL GLAZE SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
B	5000	WESTERN SERIES 79 DOAL GLAZE SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
C	2000	WESTERN SERIES 79 DOAL GLAZE SINGLE HUNG BRONZE ANODIZED FRAME W. MULLIONS ON GLAZE
D	6000	WESTERN SERIES 79 DOAL GLAZE 20 BRONZE ANODIZED FRAME WITH MULLIONS
E	1820	FIXED GLASS PICTURE WINDOW DOAL GLAZE BRONZE ANODIZED FRAME
F	3040	WESTERN SINGLE GLAZE SINGLE HUNG BRONZE ANODIZED FRAME
G	4030	WESTERN SERIES 79 DOAL GLAZE SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
H	2000	WESTERN SERIES 79 DOAL GLAZE SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS

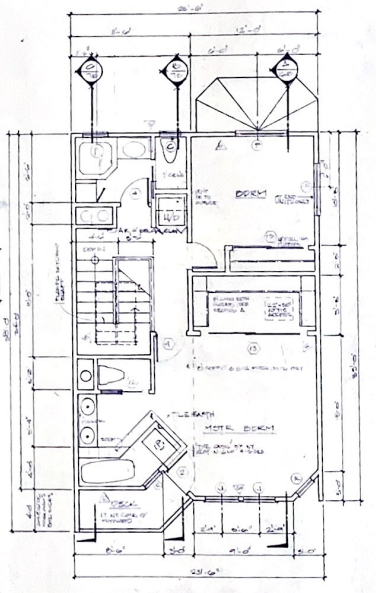
NUMBER	SIZE	NOTES
J	3000	WESTERN SERIES 79 DOAL GLAZE SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
K	2630	WESTERN SERIES 79 DOAL GLAZE SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
L	2000	WESTERN SERIES 79 DOAL GLAZE SINGLE HUNG BRONZE ANODIZED FRAME WITH MULLIONS
M	1000	FIXED PANEL DOAL GLAZE BRONZE ANODIZED FRAME WITH MULLIONS
N	2010	WESTERN SERIES 79 DOAL GLAZE BRONZE ANODIZED FRAME END UNIT ONLY
O	2000	WESTERN SERIES 79 DOAL GLAZE BRONZE ANODIZED FRAME END UNIT ONLY
P	24x30	FIXED GLASS PICTURE WINDOW DOAL GLAZE BRONZE ANODIZED FRAME



GARAGE PLAN
UNIT B



LOWER FLOOR PLAN
UNIT D



UPPER FLOOR PLAN
UNIT B

NO.	DESCRIPTION	BY

M Group
ARCHITECTS
546 Highway 24, #11
San Luis Obispo,
California 93401
(805) 544-1414

PROFESSIONAL ENGINEER
REGISTERED WITH THE STATE OF CALIFORNIA
NO. 44114
DATE: 11/11/88
BY: [Signature]

BAY SHORE VILLAGE
MORRO BAY
CALIFORNIA

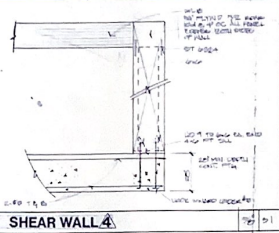
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DATE: 11/11/88
SCALE: [Blank]
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SHEET: **4B**
OF: [Blank]

PRINTED 11 1988

- OBJECTIVE NOTES**
1. ALL LOADS INDICATED TO BE COMBINED (U+D) AND REDUCED
 2. ALL LOADS BEARING THEREON TO BE 4% I.C.P.E. (I.C.M.)
 3. ALL LOADS BEARING THEREON TO BE 4% I.C.P.E. (I.C.M.)
 4. ALL LOADS BEARING THEREON TO BE 4% I.C.P.E. (I.C.M.)
 5. ALL LOADS BEARING THEREON TO BE 4% I.C.P.E. (I.C.M.)
 6. ALL LOADS BEARING THEREON TO BE 4% I.C.P.E. (I.C.M.)

MINIMUM REINFORCEMENT SCHEDULE

Member	Reinforcement
Foundation Walls	10# @ 12" O.C.
Foundation Slabs	10# @ 12" O.C.
Grade 1 Floor Slab	10# @ 12" O.C.
Grade 2 Floor Slab	10# @ 12" O.C.
Grade 3 Floor Slab	10# @ 12" O.C.
Grade 4 Floor Slab	10# @ 12" O.C.
Grade 5 Floor Slab	10# @ 12" O.C.
Grade 6 Floor Slab	10# @ 12" O.C.
Grade 7 Floor Slab	10# @ 12" O.C.
Grade 8 Floor Slab	10# @ 12" O.C.
Grade 9 Floor Slab	10# @ 12" O.C.
Grade 10 Floor Slab	10# @ 12" O.C.
Grade 11 Floor Slab	10# @ 12" O.C.
Grade 12 Floor Slab	10# @ 12" O.C.
Grade 13 Floor Slab	10# @ 12" O.C.
Grade 14 Floor Slab	10# @ 12" O.C.
Grade 15 Floor Slab	10# @ 12" O.C.
Grade 16 Floor Slab	10# @ 12" O.C.
Grade 17 Floor Slab	10# @ 12" O.C.
Grade 18 Floor Slab	10# @ 12" O.C.
Grade 19 Floor Slab	10# @ 12" O.C.
Grade 20 Floor Slab	10# @ 12" O.C.
Grade 21 Floor Slab	10# @ 12" O.C.
Grade 22 Floor Slab	10# @ 12" O.C.
Grade 23 Floor Slab	10# @ 12" O.C.
Grade 24 Floor Slab	10# @ 12" O.C.
Grade 25 Floor Slab	10# @ 12" O.C.
Grade 26 Floor Slab	10# @ 12" O.C.
Grade 27 Floor Slab	10# @ 12" O.C.
Grade 28 Floor Slab	10# @ 12" O.C.
Grade 29 Floor Slab	10# @ 12" O.C.
Grade 30 Floor Slab	10# @ 12" O.C.
Grade 31 Floor Slab	10# @ 12" O.C.
Grade 32 Floor Slab	10# @ 12" O.C.
Grade 33 Floor Slab	10# @ 12" O.C.
Grade 34 Floor Slab	10# @ 12" O.C.
Grade 35 Floor Slab	10# @ 12" O.C.
Grade 36 Floor Slab	10# @ 12" O.C.
Grade 37 Floor Slab	10# @ 12" O.C.
Grade 38 Floor Slab	10# @ 12" O.C.
Grade 39 Floor Slab	10# @ 12" O.C.
Grade 40 Floor Slab	10# @ 12" O.C.
Grade 41 Floor Slab	10# @ 12" O.C.
Grade 42 Floor Slab	10# @ 12" O.C.
Grade 43 Floor Slab	10# @ 12" O.C.
Grade 44 Floor Slab	10# @ 12" O.C.
Grade 45 Floor Slab	10# @ 12" O.C.
Grade 46 Floor Slab	10# @ 12" O.C.
Grade 47 Floor Slab	10# @ 12" O.C.
Grade 48 Floor Slab	10# @ 12" O.C.
Grade 49 Floor Slab	10# @ 12" O.C.
Grade 50 Floor Slab	10# @ 12" O.C.



WALL SCHEDULE

Station	Marker	Notes
10+00	10+00	SEE SHEET 10+00 FOR WALL SCHEDULE
10+05	10+05	SEE SHEET 10+05 FOR WALL SCHEDULE
10+10	10+10	SEE SHEET 10+10 FOR WALL SCHEDULE
10+15	10+15	SEE SHEET 10+15 FOR WALL SCHEDULE
10+20	10+20	SEE SHEET 10+20 FOR WALL SCHEDULE
10+25	10+25	SEE SHEET 10+25 FOR WALL SCHEDULE
10+30	10+30	SEE SHEET 10+30 FOR WALL SCHEDULE
10+35	10+35	SEE SHEET 10+35 FOR WALL SCHEDULE
10+40	10+40	SEE SHEET 10+40 FOR WALL SCHEDULE
10+45	10+45	SEE SHEET 10+45 FOR WALL SCHEDULE
10+50	10+50	SEE SHEET 10+50 FOR WALL SCHEDULE
10+55	10+55	SEE SHEET 10+55 FOR WALL SCHEDULE
10+60	10+60	SEE SHEET 10+60 FOR WALL SCHEDULE
10+65	10+65	SEE SHEET 10+65 FOR WALL SCHEDULE
10+70	10+70	SEE SHEET 10+70 FOR WALL SCHEDULE
10+75	10+75	SEE SHEET 10+75 FOR WALL SCHEDULE
10+80	10+80	SEE SHEET 10+80 FOR WALL SCHEDULE
10+85	10+85	SEE SHEET 10+85 FOR WALL SCHEDULE
10+90	10+90	SEE SHEET 10+90 FOR WALL SCHEDULE
10+95	10+95	SEE SHEET 10+95 FOR WALL SCHEDULE
11+00	11+00	SEE SHEET 11+00 FOR WALL SCHEDULE

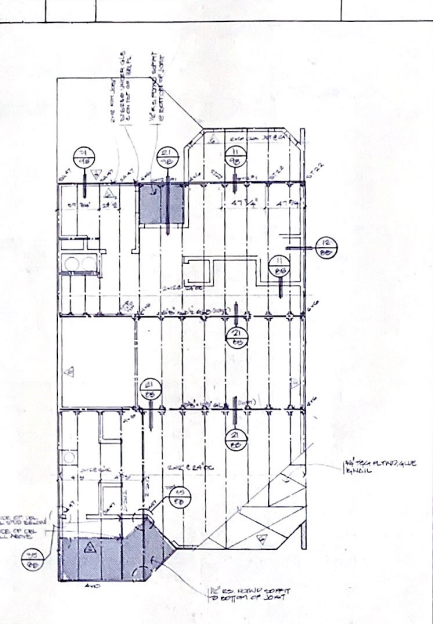
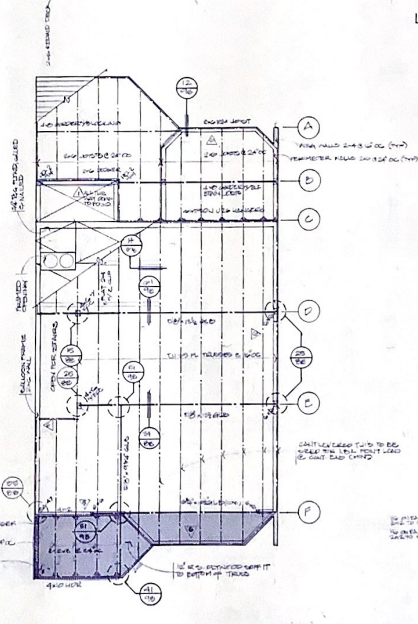
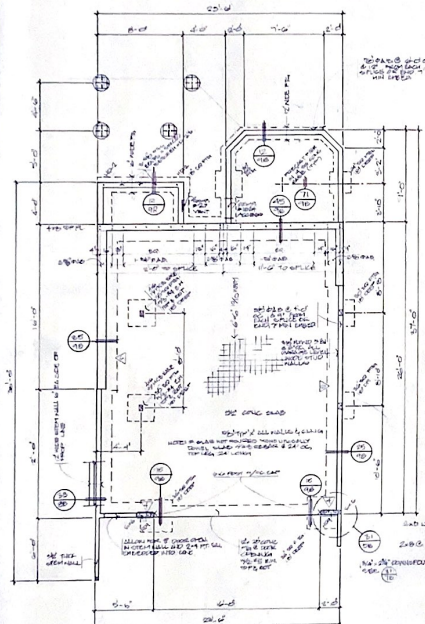
REVISIONS

NO.	DATE	DESCRIPTION

M Group
ARCHITECTS
440 S. GARDEN ST. #111
COSTA MESA, CALIFORNIA 92626
(714) 941-4147

BAY SHORE VILLAGE
MORRO BAY
CALIFORNIA

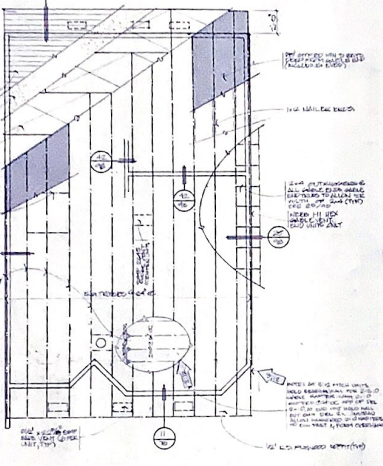
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JOB NO.
SHEET
51
OF 50



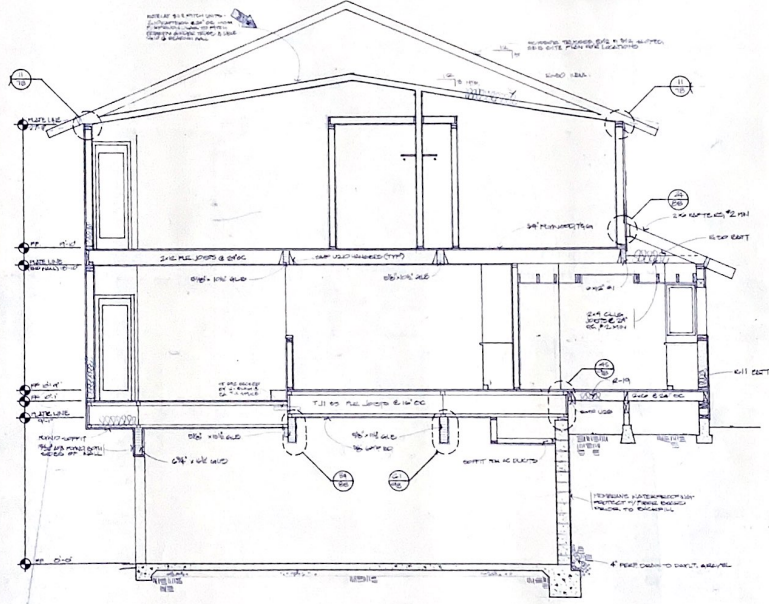
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12 1990

ROOF FRAMING @ KITCHEN

ITEM DESCRIPTION QUANTITY	SCALE
WOOD SHEATHING	1/2" CDX
TRUSS JOISTS	2x10 @ 24" OC
RAFTERS	2x10 @ 24" OC
BRACE	2x4 @ 24" OC
CEILING JOIST	2x10 @ 24" OC
ROOFING	3/8" ASPH/FIBR
FLASHING	3" GALV
VENT	12" DIA
PIPE	4" DIA
WATER	2" DIA
DRAIN	2" DIA
SEWER	4" DIA
ELECTRICAL	1/2" DIA
PLUMBING	1/2" DIA
MECHANICAL	1/2" DIA
FINISH	1/2" DIA
CONCRETE	4" THICK
FOUNDATION	18" DIA
WALL	8" CMU
FLOOR	4" CONG
CEILING	5/8" GYP
ROOF	12" GYP
INSULATION	1" R-19
DRY WALL	5/8" GYP
TRUSS	2x10 @ 24" OC
RAFTER	2x10 @ 24" OC
BRACE	2x4 @ 24" OC
CEILING JOIST	2x10 @ 24" OC
ROOFING	3/8" ASPH/FIBR
FLASHING	3" GALV
VENT	12" DIA
PIPE	4" DIA
WATER	2" DIA
DRAIN	2" DIA
SEWER	4" DIA
ELECTRICAL	1/2" DIA
PLUMBING	1/2" DIA
MECHANICAL	1/2" DIA
FINISH	1/2" DIA
CONCRETE	4" THICK
FOUNDATION	18" DIA
WALL	8" CMU
FLOOR	4" CONG
CEILING	5/8" GYP
ROOF	12" GYP
INSULATION	1" R-19
DRY WALL	5/8" GYP



ROOF FRAMING PLAN
UNIT 8



SECTION A
UNIT 8

REVISIONS	BY



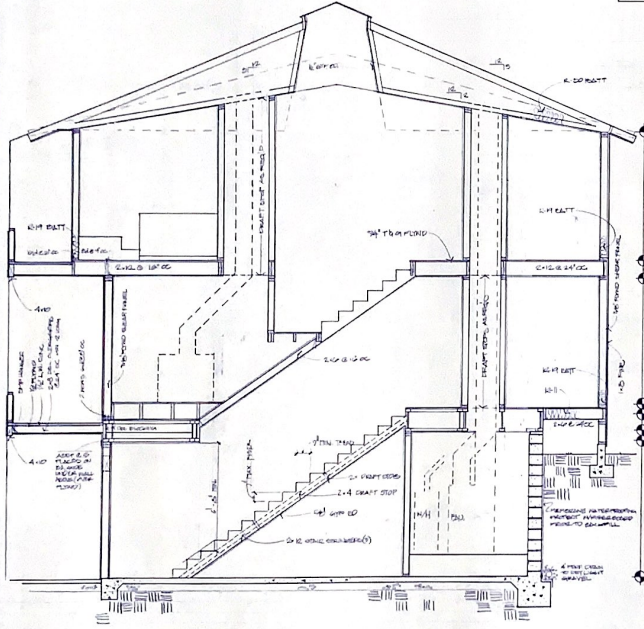
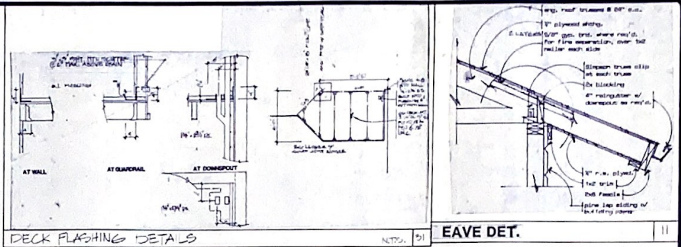
M Group
ARCHITECTS
240 Highways Dr., #111
San Luis Obispo, CA
California 93401
(805) 543-6145

PROVIDED UNDER AGREEMENT
CONNECTION WITH THE PROJECT
PROVIDED THE ARCHITECT'S
ADVISED AND ADVISED OF THE
ARCHITECT'S OBLIGATION TO
PROTECT THE INTERESTS OF
THE CLIENT AND TO MAINTAIN
CONFIDENTIALITY OF THE PROJECT
INFORMATION. THE ARCHITECT
MAKES NO WARRANTY OF
ACCURACY OR COMPLETENESS OF THESE
REPRESENTATIONS.

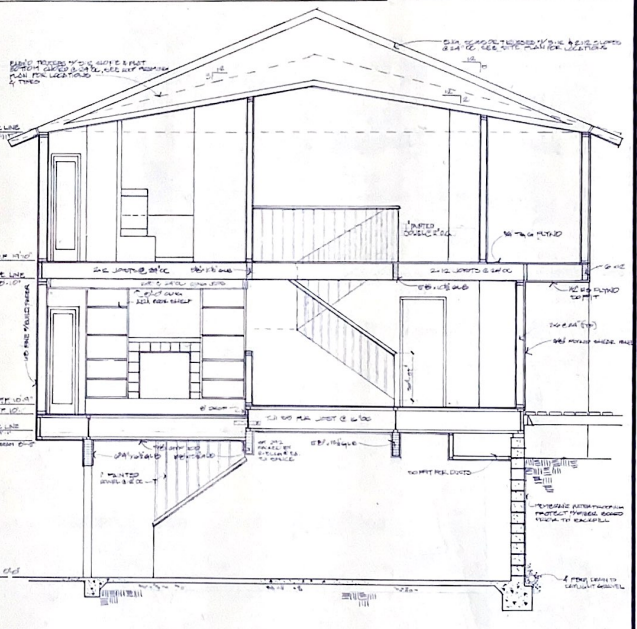
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CALIFORNIA
MORRO BAY

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SCALE
JOB NO.
SHEET
OP
DB

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PRINTED
12/20



SECTION C
UNIT 2



SECTION B
UNIT 2

REVISIONS	BY

M Group
 ARCHITECTS
 544 High St. #11
 San Jose, Calif. 95128
 (415) 281-1111

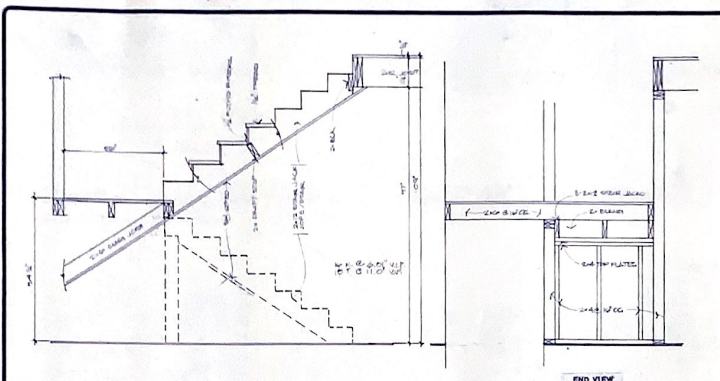
Contractor shall obtain all permits and shall be responsible for the proper installation of the work. The architect is not responsible for the construction of the work. The architect is not responsible for the construction of the work. The architect is not responsible for the construction of the work.

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 CALIFORNIA
 MORRO BAY

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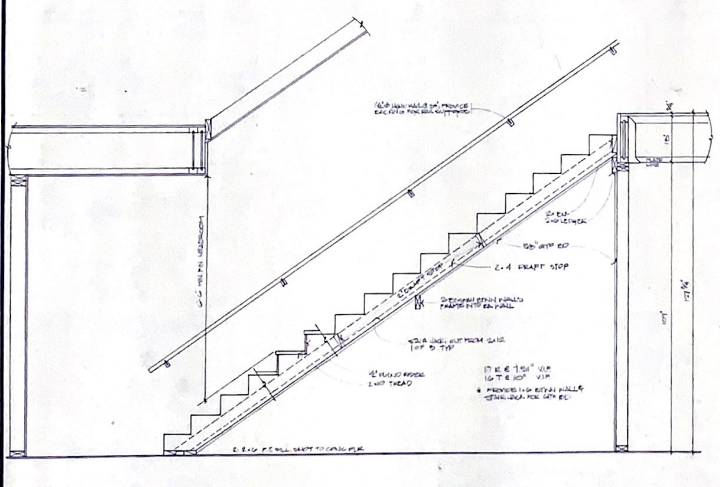
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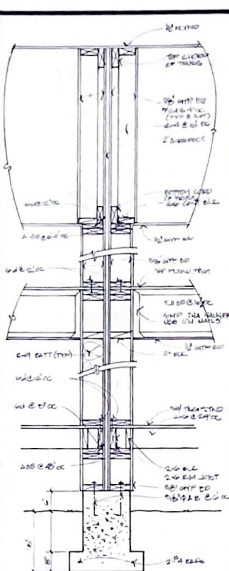
STAIR DETAIL

74 42

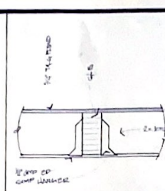


STAIR DETAIL

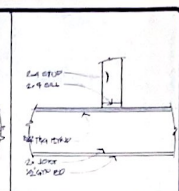
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TYP. 1 HR. WALL



BEAM DET.

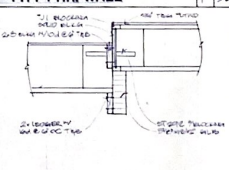


NON-BRNG WALL

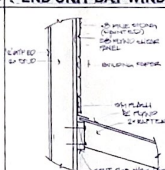
COMMON WALL

WALL/TRUSS

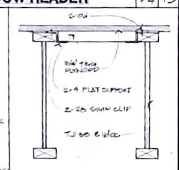
END UNIT BAY WINDOW HEADER



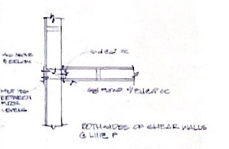
DROPPED FLOOR



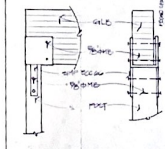
ROOF-WALL



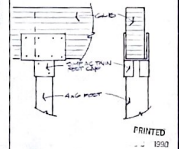
SUBFL. BLKNG



SHEAR CORNER



POST-BEAM



POST-BEAM

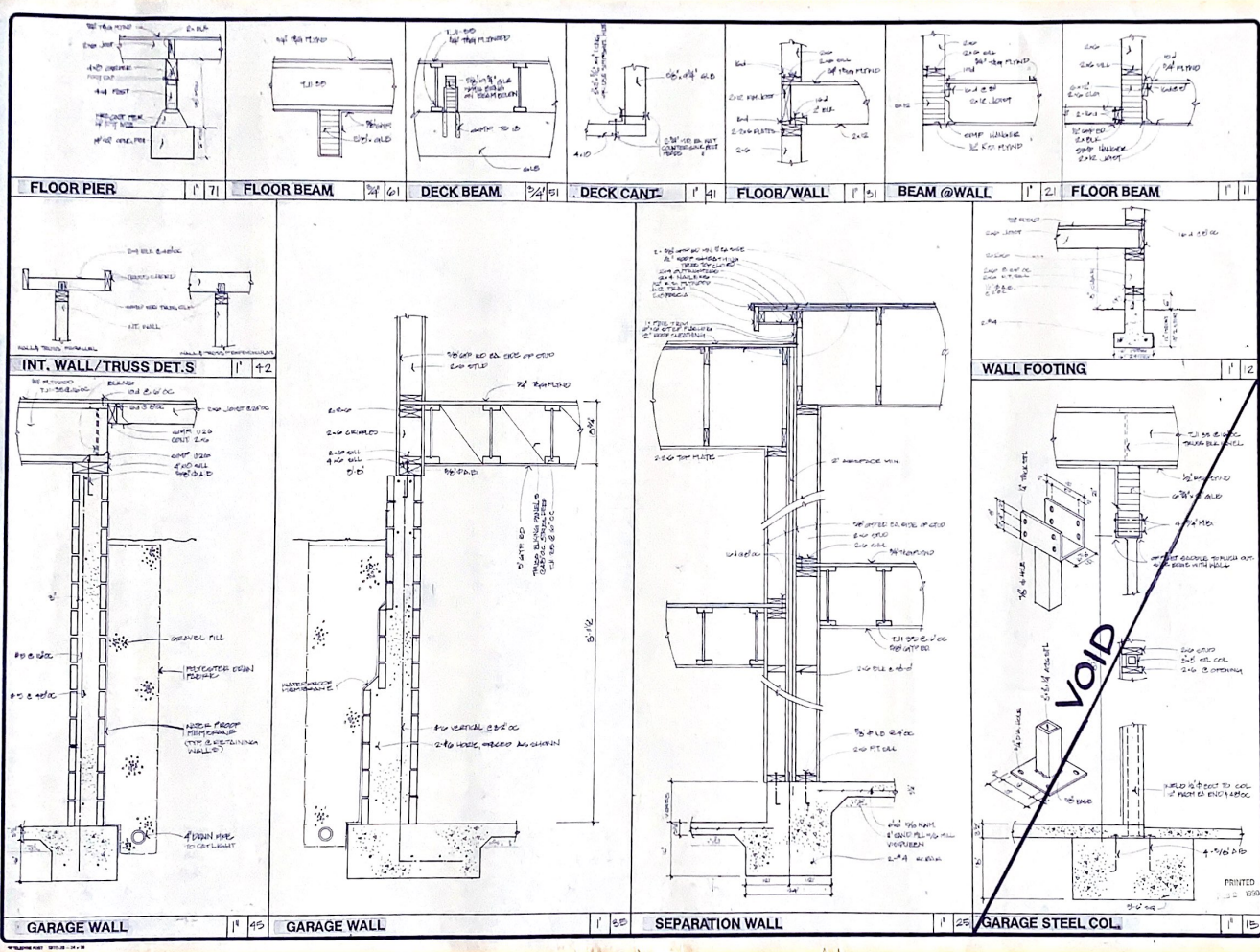
NO.	DESCRIPTION	BY

M Group
 ARCHITECTS
 1400 Highway 101, #111
 San Luis Obispo, California 93401
 (805) 943-4145

CONTRACTOR BEFORE ORDERING
 CONSULT WITH THE ARCHITECT
 FOR THE MOST ACCURATE
 INFORMATION. SEE THE
 ARCHITECT'S SPECIFICATIONS
 AND DRAWINGS FOR
 THE MOST ACCURATE
 INFORMATION. THE ARCHITECT
 IS NOT RESPONSIBLE FOR
 THE ACCURACY OF THE
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 IS NOT RESPONSIBLE FOR
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BAY SHORE VILLAGE
 CALIFORNIA
 MORRO BAY

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 DATE
 SCALE
 JOB NO.
 SHEET
80
 15



NO.	DESCRIPTION	DATE

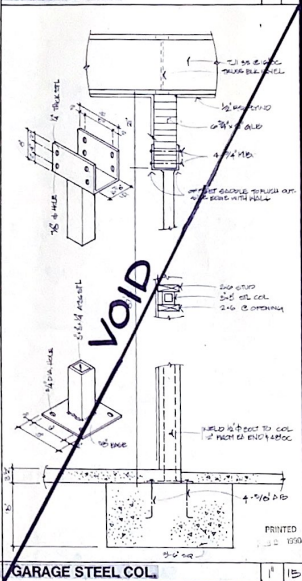
M Group
 ARCHITECTS
 666 Highway 25, #111
 San Luis Obispo
 California 93401
 (805) 781-1111

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BAY SHORE VILLAGE
 CALIFORNIA
 MORRO BAY

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BD
 BUREAU OF DESIGN



MECHANICAL NOTES

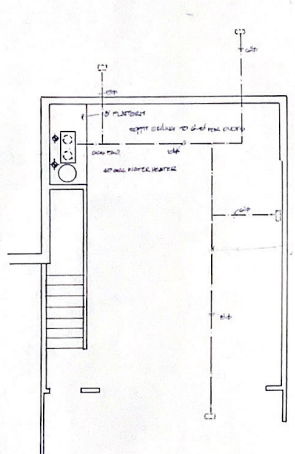
- 1) It shall be the mechanical contractor's responsibility to show and verify all sizes and types of unit and all air duct sizes, B) location and routing of units, C) unit and duct supports.
- 2) It shall be the mechanical contractor's responsibility to connect all refrigeration lines, load and discharge lines as required for split system types.
- 3) Mechanical contractor to supply thermostat and thermostat wires to be installed and hooked up by electrical contractor.
- 4) Mechanical contractor to provide and install all bathroom vent ducts, kitchen hood duct and all other exhaust ducts. Exception: gas water heater vent duct, water heater to be vented by plumbing contractor.
- 5) All vent, flue and cooling supply and air return registers to be shown with 1/2" center. See similar change in registers to be the responsibility of the owner.
- 6) All ducts to be installed as per USC, 1005.
- 7) All ducts to be insulated as per USC, 1005.
- 8) Mechanical contractor to locate and set all ceiling, floor and wall ducts. Framing contractor to provide material and labor for blocking at each outlet.
- 9) Mechanical contractor to maintain 4" air clearance for all ducts from attic access. No duct allowed over attic access.
- 10) Mechanical contractor to allow min. of 3" clearance around all vent pipes from combustible material.
- 11) All vent pipes to be riveted or screwed together.
- 12) Vent shall be certified by C.E.C.
- 13) Each thermostat to be a 7-day programmable unit.
- 14) Provide bath draft stoppers for each exhaust fan.

PLUMBING NOTES

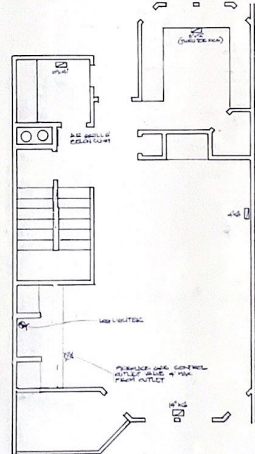
- 1) Plumbing contractor to spot and provide vent pipe for all vent pipes, condensation drains or other vent points per vent lines shown on drawings.
- 2) Plumbing contractor to hook all gas and water lines to unit or appliance as required.
- 3) Plumbing contractor to check mechanical work for mechanical duct location and provide proper clearance for ducts. Ducts may be installed later.
- 4) Plumbing contractor to check around base of all vent.
- 5) Showheads and faucet shall be certified by C.E.C.

NOTES

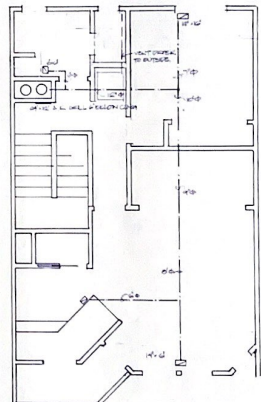
- 1) SEUDO TO THE END OF ALL PIPE WISE. FORMER SHALL BE USED IN DUCTS. THROUGH PIPE PENETRATIONS SHALL BE MADE AS PER USCA 1005.
- 2) MAKE SURE THERE IS A STOP VALVE IN EACH LINE. MAKE SURE THE STOP VALVE IS IN THE RIGHT PLACE TO BE REACHED IN EMERGENCY. MAKE SURE THE STOP VALVE IS IN THE RIGHT PLACE TO BE REACHED IN EMERGENCY.
- 3) ALL WORK TO BE DONE BY LICENSED CONTRACTOR TO CITY OF MORRISVILLE.
- 4) ALL WORK TO BE DONE BY LICENSED CONTRACTOR TO CITY OF MORRISVILLE.
- 5) ALL WORK TO BE DONE BY LICENSED CONTRACTOR TO CITY OF MORRISVILLE.
- 6) ALL WORK TO BE DONE BY LICENSED CONTRACTOR TO CITY OF MORRISVILLE.
- 7) ALL WORK TO BE DONE BY LICENSED CONTRACTOR TO CITY OF MORRISVILLE.



GARAGE MECH PLAN
UNIT B



LOWER MECH PLAN
UNIT B



UPPER MECH PLAN
UNIT B

REVISED	BY

M Group
ARCHITECTS
2400 Highway 94, #111
San Jose, CA 95128
(408) 544-4143

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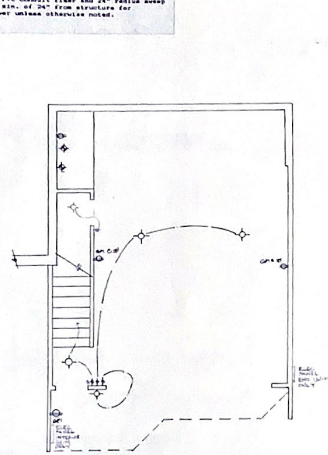
BAY SHORE VILLAGE
MORRO BAY CALIFORNIA

DRAWN
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DATE
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JOB NO.
DATE
10/3
SHEET

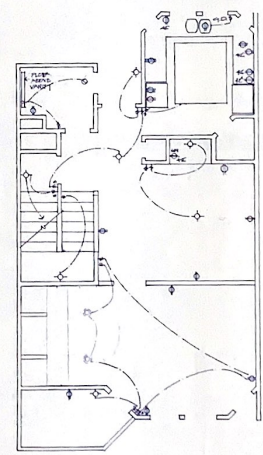
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11/22/03

11. It shall be the electrical contractor's responsibility to check and verify at building and type of incoming power supply, its location and size of main service, meter and any equipment. This information may or may not be shown on plans.
12. It shall be the electrical contractor's responsibility to verify location of the electrical grounding (NEC 250-41) with the foundation contractor. Foundation contractor to supply and install all necessary grounding materials.
13. Electrical grounding to conform with NEC 250-41 with metal non-ferrous wire pipe in direct contact with the earth for 1000' Metal water pipe allowed to be supplemented by 2" of metal pipe or AUC wire encased by at least 2" of concrete. Located within and have the bottom of a concrete foundation or footing that is in direct contact with the earth.
14. Electrical contractor to provide all branching, conduit, wire and back-fill necessary to complete underground.
15. Electrical contractor to provide and install all electrical conduit runs, working in unobstructed areas.
16. Electrical contractor to provide labor in making up A.C. units and thermostats. All material furnished by mechanical contractor.
17. Electrical contractor to check with local power company for possible service drop cost. These additional costs, if any, shall be provided for in electrical bid.
18. Electrical contractor to provide light bulbs for each fixture, plastic diffuser panels at each diffused fluorescent light.
19. Electrical contractor to keep all wires a min. of 6"-12" from walls, ceiling, unless less than 6"-12" to be covered for protection.
20. Electrical contractor to provide 2.5" Dia. Schedule 40 Per standard size and 2' radius sweep around out air of 20' from structure for incoming power unless otherwise noted.

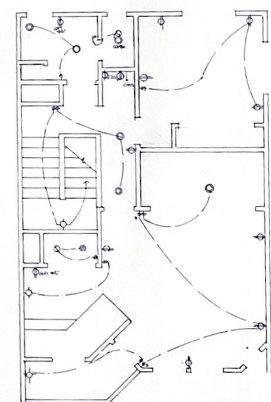
21. Electrical contractor to spot and provide road jacks at road street A.C. units prior to roofing.
22. Electrical contractor to check mechanical plans and plumbing plans for mechanical duct location and provide proper clearance for ducts. Ducts may be installed later.
23. Smoke Detector shall be provided with permanent wiring.
24. General lighting for kitchens and bathrooms shall be 25 lumens/foot or greater.
25. Provide 100 W washed proof outlet within 20' of all roof mount air conditioning units, as a 20' A.C. circuit.
26. Individual branch circuits must be identified in the main or subpanel to indicate the equipment they serve.
27. Every outlet shall be provided with a cover unless covered by a fixture, receptacle or similar device.
28. Dimmerless light required for medical box.
29. All equipment to have no equipment grounding bus. All wiring for all facilities shall meet requirements of NEC 4 and 24.
30. The electrical sub-contractor shall be responsible for obtaining the suitable short circuit current available, and all service equipment and structural protective devices shall be shown for the available short circuit current as per NEC section 250-16.



GARAGE ELECTRICAL PLAN
UNIT B



LOWER ELECTRICAL PLAN
UNIT B



UPPER ELECTRICAL PLAN
UNIT B

REVISIONS	BY

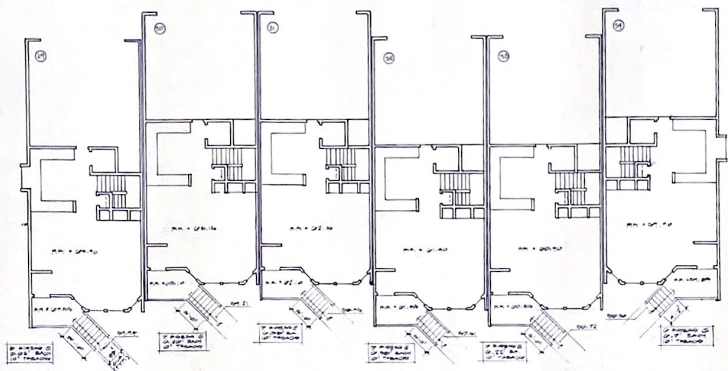
M Group
ARCHITECTS
566 Hudson St., #11
San Luis Obispo,
California 94901
(805) 741-6161

DESIGNED UNDER PERMIT
ISSUED BY THE STATE
REGISTERED PROFESSIONAL
ENGINEERS UNDER THE
SUPERVISION OF THE
ARCHITECT AND IN
ACCORDANCE WITH THE
CALIFORNIA ELECTRICAL
CODE AND THE CODES OF
THE JURISDICTION. THE
OWNER SHALL BE RESPONSIBLE
FOR OBTAINING ALL NECESSARY
PERMITS AND APPROVALS OF THESE
REQUIREMENTS.

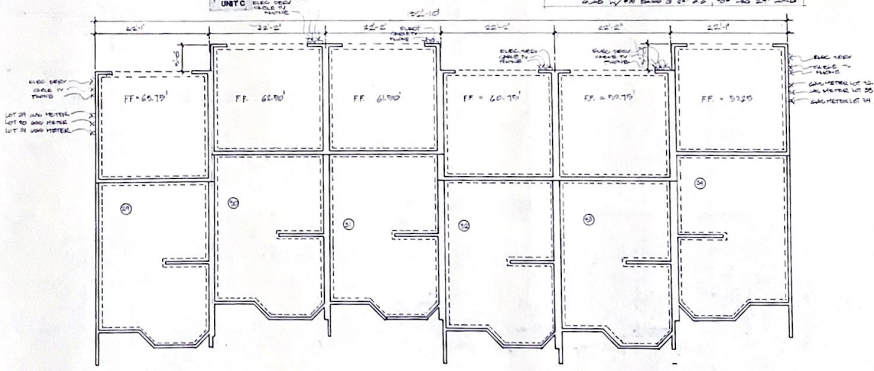
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MORRO BAY
CALIFORNIA

DESIGN
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UNITS 29-34 FIRST FLOOR



UNITS 29-34 FOUNDATION PLAN

REVISION	BY



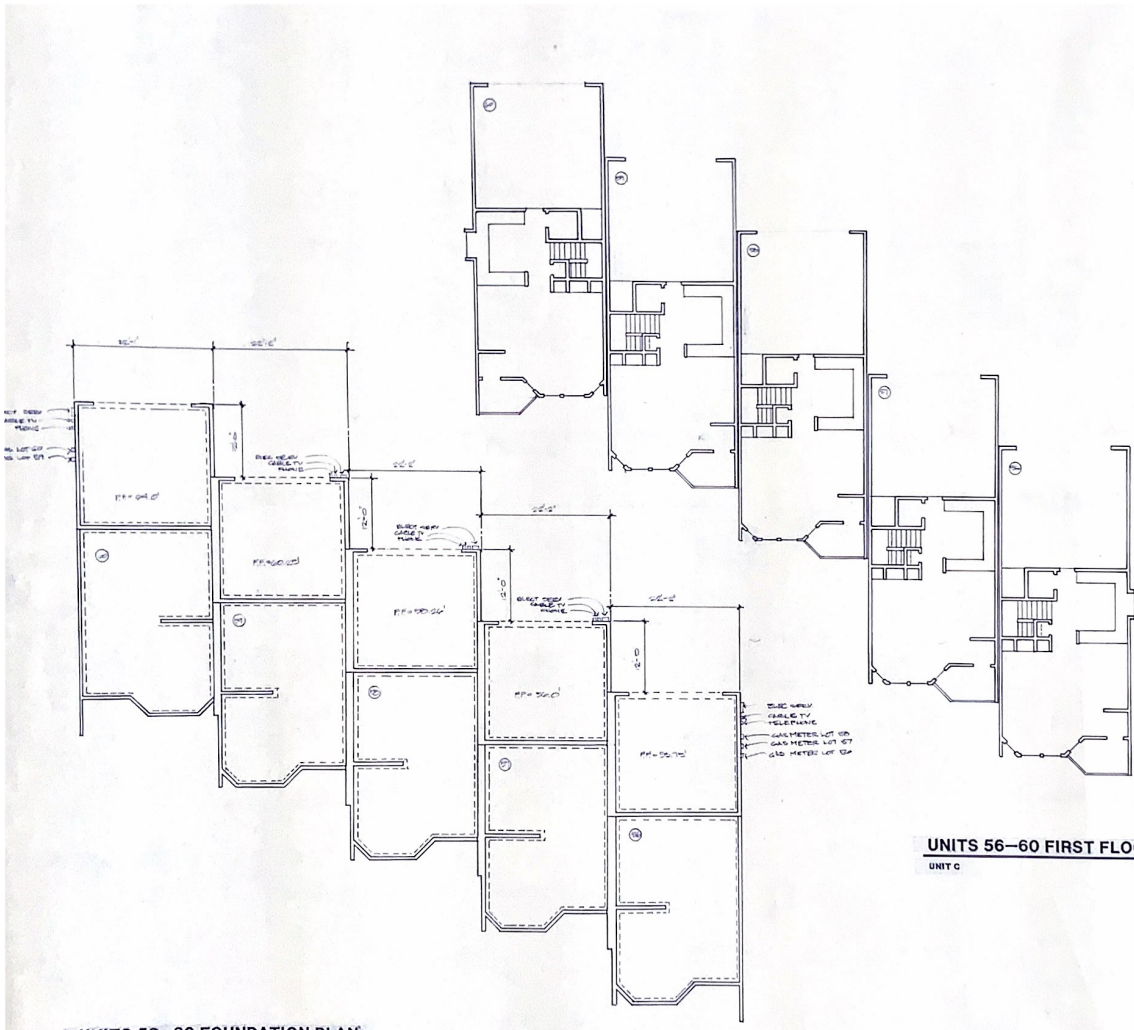
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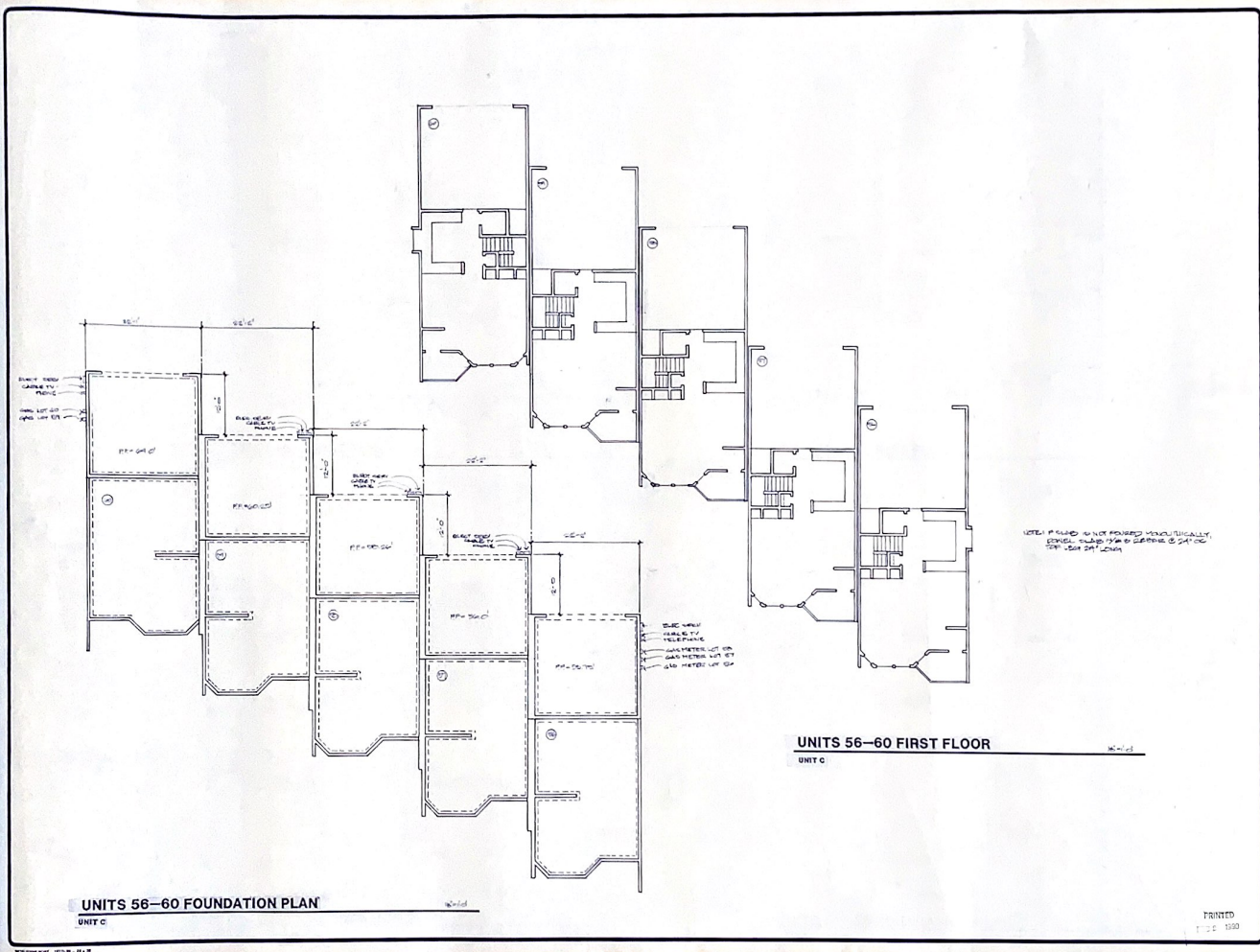




NOTE: F FLOOR IS NOT FINISHED MECHANICALLY.
 SEWER SHALL BE 6" DIA. @ 24" DIA.
 TOP 18" DIA. LUNA

UNITS 56-60 FIRST FLOOR
 UNIT C

UNITS 56-60 FOUNDATION PLAN
 UNIT C



UNITS 56-60 FOUNDATION PLAN
UNIT C

UNITS 56-60 FIRST FLOOR
UNIT C

REV	DESCRIPTION	DATE

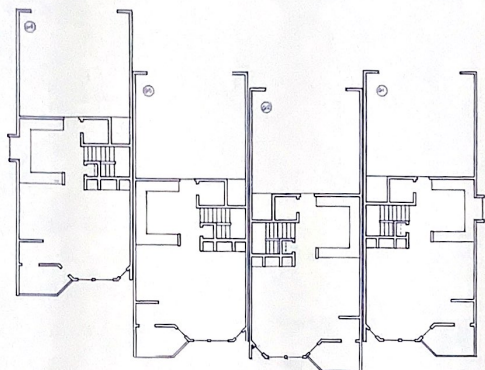
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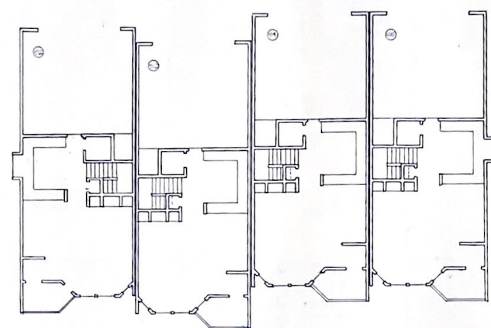
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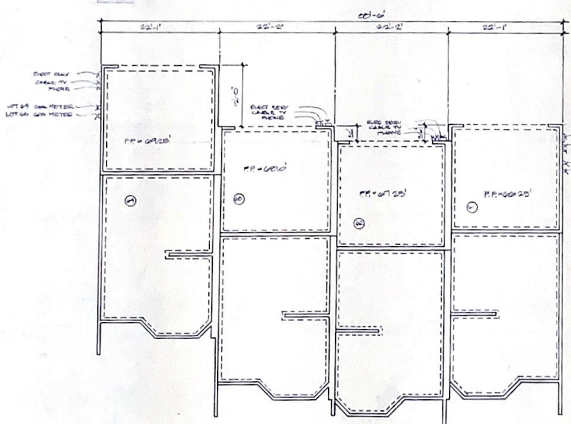
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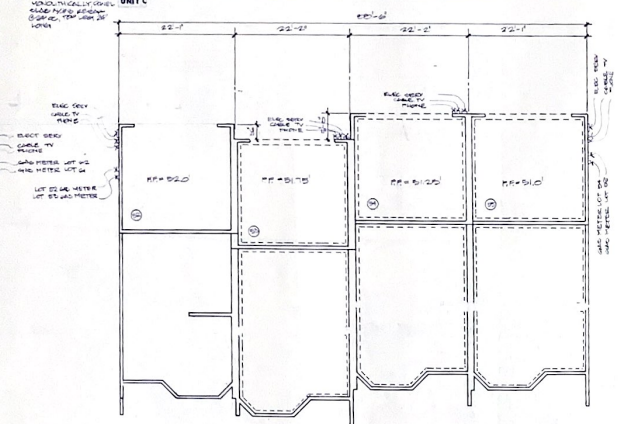
UNITS 61-64 FIRST FLOOR
UNIT C



UNITS 52-55 FIRST FLOOR
UNIT C



UNITS 61-64 FOUNDATION PLAN
UNIT C



UNITS 52-55 FOUNDATION PLAN
UNIT C

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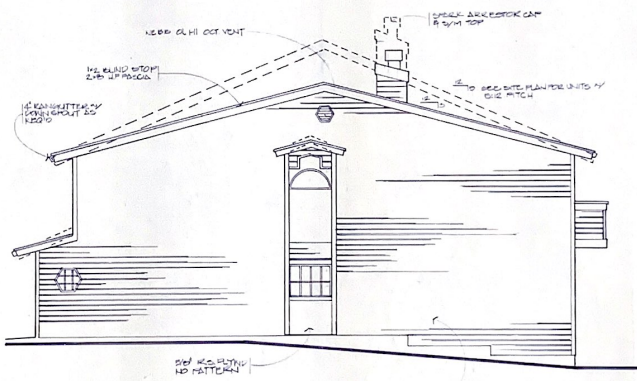
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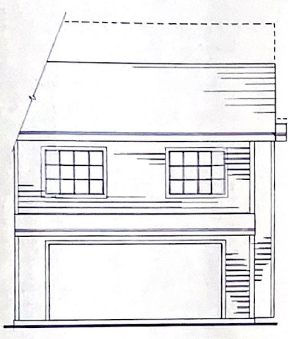
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FRONT ELEVATION
UNIT C



END UNIT ELEVATION
UNIT C



BACK ELEVATION
UNIT C

DOOR SCHEDULE

Table with 3 columns: NUMBER, SIZE, NOTES. Contains items 1 through 8.

SHEAR SCHEDULE

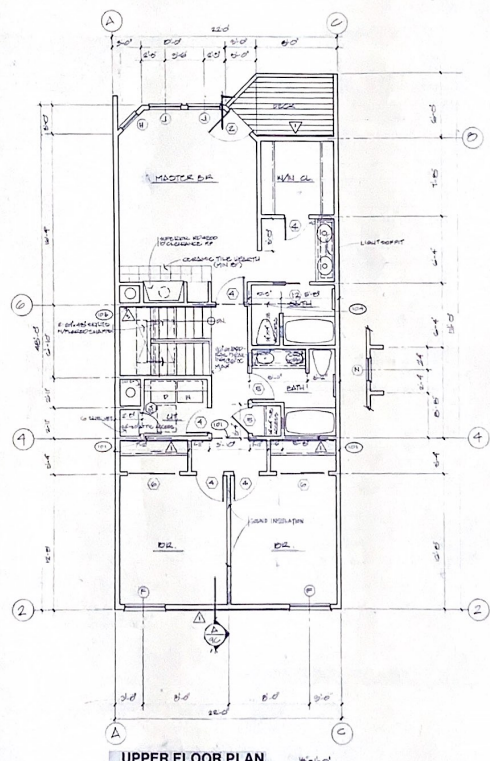
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STRUCTURAL NOTES

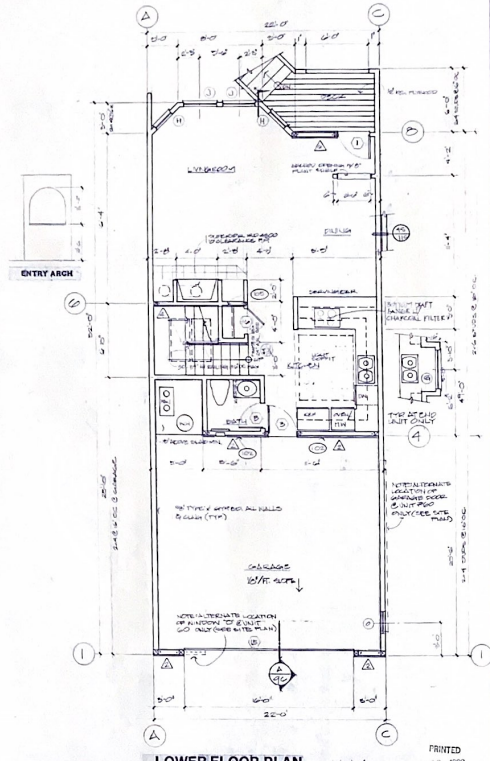
- 1. 3/8" x 4" LONG PLWOOD PANELS...
2. LINE UP TRUSS JOISTS...
3. EXTEND 100 FROM WALL DOWN TO FOUNDATION...
4. WITH SIDE OF FOUNDATION...
5. WITH SIDE WITH 8" P.O.C. & 1/2" DIA. WALL...
6. ONE SIDE WITH 8" P.O.C. & 1/2" DIA. WALL...
7. INSIDE FACE OF FOUNDATION...
8. 3/8" x 4" LONG PLWOOD PANELS...
9. LINE UP TRUSS JOISTS...
10. EXTEND 100 FROM WALL DOWN TO FOUNDATION...
11. WITH SIDE OF FOUNDATION...
12. WITH SIDE WITH 8" P.O.C. & 1/2" DIA. WALL...
13. ONE SIDE WITH 8" P.O.C. & 1/2" DIA. WALL...
14. INSIDE FACE OF FOUNDATION...

WINDOW SCHEDULE

Table with 3 columns: NUMBER, SIZE, NOTES. Contains items A through O.



UPPER FLOOR PLAN



LOWER FLOOR PLAN

Revision table with columns REV, DESCRIPTION, DATE.

M Group ARCHITECTS logo and contact information: 446 Highway 52, #111 San Luis Obispo, California 93401.

BAY SHORE VILLAGE CALIFORNIA MORRO BAY

7C logo and project details: DRAWN, CHECKED, DATE, SCALE, SHEET NO., UNIT C.

GENERAL NOTES

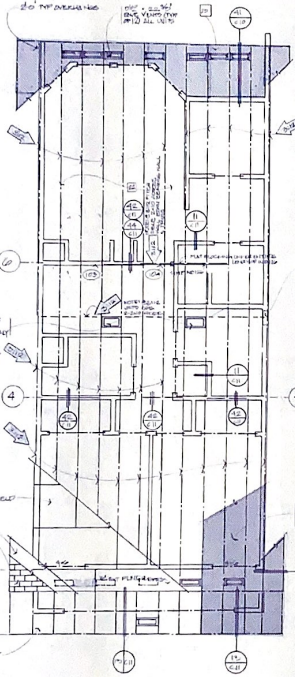
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9. ALL WORK TO BE DONE IN ACCORDANCE WITH THE PERMITS
10. ALL WORK TO BE DONE IN ACCORDANCE WITH THE PERMITS

AIRFLOW VENTILATION CALCULATIONS	
Room Area	1000 sq ft
Minimum Airflow	1000 CFM
Room Volume	1000 cu ft
Turn of Room	1000 RPM
Room Length	100 ft
Room Width	100 ft
Room Height	100 ft
Total Ventilation	1000 CFM

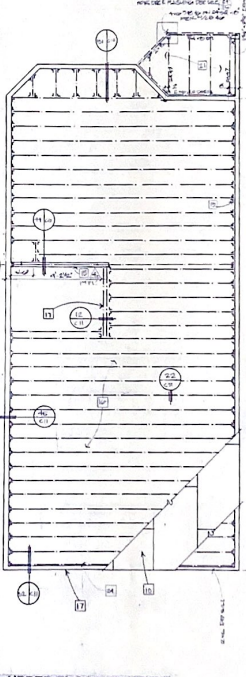
REFERENCE NOTES

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3. ALL WORK TO BE DONE IN ACCORDANCE WITH THE PERMITS
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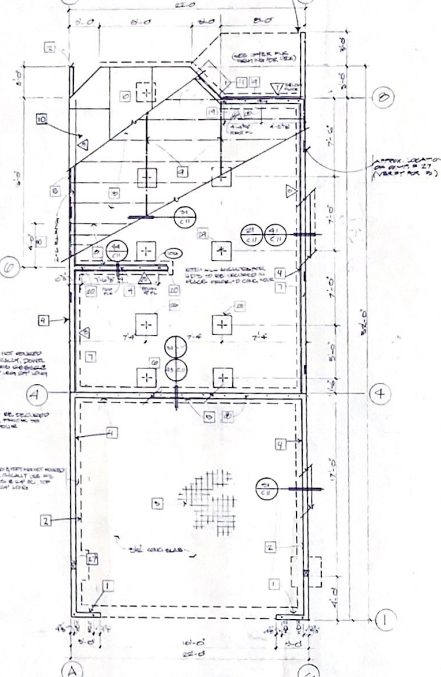
AIRFLOW VENTILATION CALCULATIONS	
Room Area	1000 sq ft
Minimum Airflow	1000 CFM
Room Volume	1000 cu ft
Turn of Room	1000 RPM
Room Length	100 ft
Room Width	100 ft
Room Height	100 ft
Total Ventilation	1000 CFM



ROOF FRAMING
UNIT C



UPPER FLOOR FRAMING
UNIT C



FOUND./FLOOR FRAMING
UNIT C

NO.	DESCRIPTION	DATE

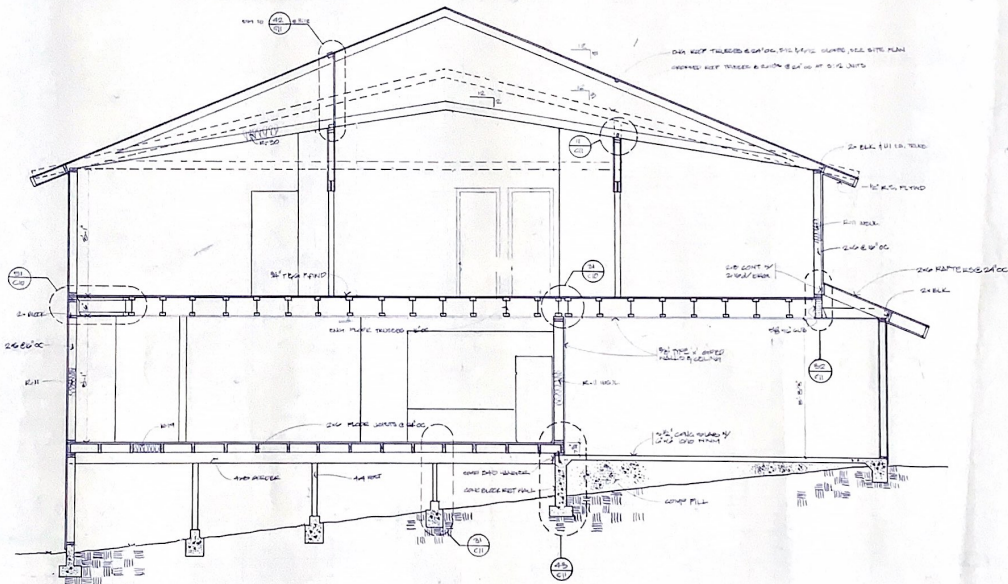


BAY SHORE VILLAGE
MORRO BAY
CALIFORNIA

NO.	DESCRIPTION	DATE



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SECTION A-A

UNIT C

NO.	REVISION	BY



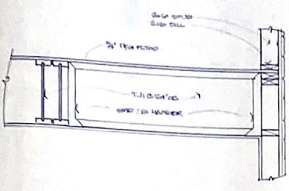
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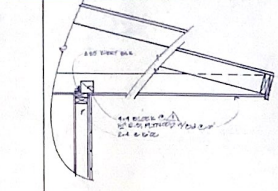
DATE	BY



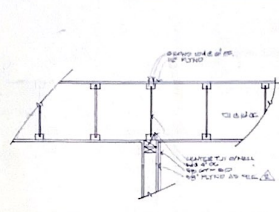
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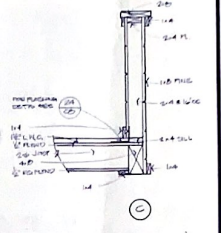
FLOOR FRAMING



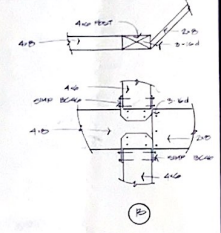
DECK OVERHANG



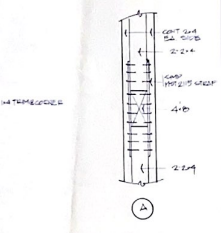
SHEAR WALL/FLOOR



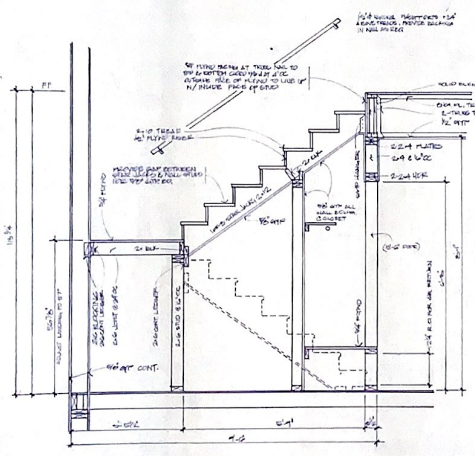
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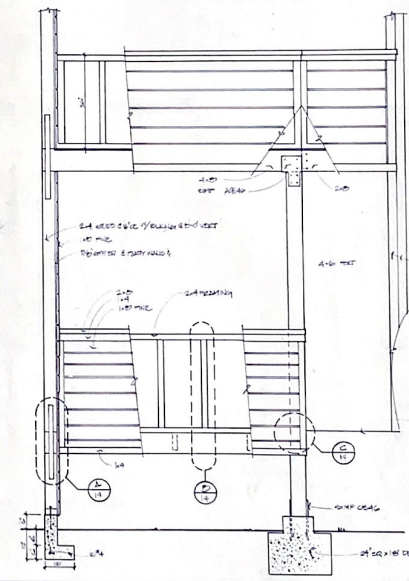
(B)



(A)



STAIR FRAMING DET.S



DECK FRAMING DET.S

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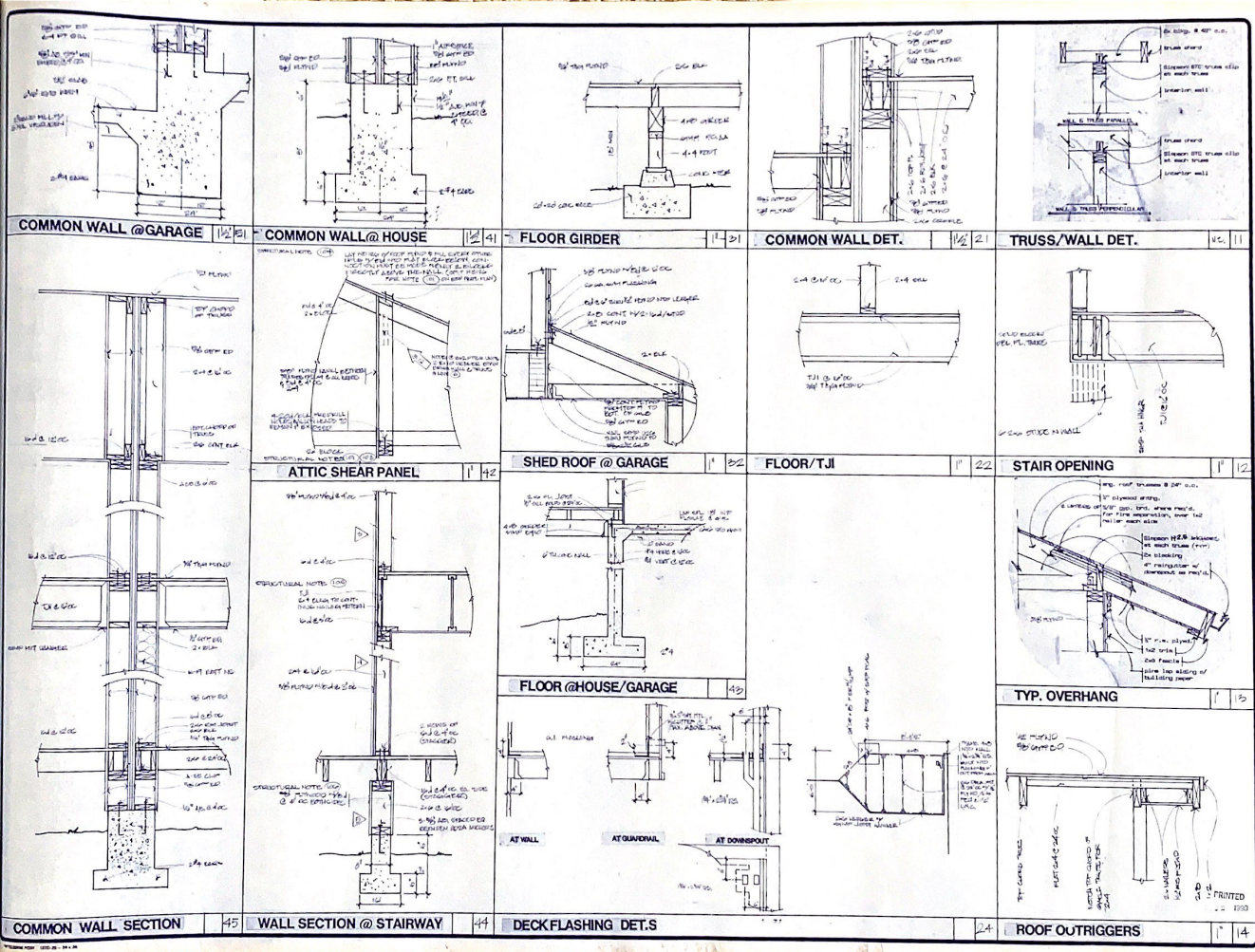
STANDARD BUILDING PRACTICES AND CODES SHALL APPLY UNLESS OTHERWISE SPECIFIED. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS. THE ARCHITECT IS NOT RESPONSIBLE FOR THE DESIGN OF ANY OTHER STRUCTURES OR FOR THE DESIGN OF ANY OTHER BUILDINGS. THE ARCHITECT'S DESIGN SHALL BE SUBJECT TO ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES. THE ARCHITECT'S DESIGN SHALL BE SUBJECT TO ALL APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES.

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 ARCHITECTS
 646 Highway 5, #11
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 California 93401
 (805) 964-1111

STANDARD HOME PLAN
 PROVIDED WITH THE SET
 THIS SET OF PLANS IS TO BE
 USED FOR THE CONSTRUCTION OF
 THE HOME DESCRIBED IN THE
 CONTRACT. ANY CHANGES
 TO THE PLANS MUST BE MADE
 BY THE ARCHITECT. THE
 OWNER SHALL BE RESPONSIBLE
 FOR OBTAINING ALL NECESSARY
 PERMITS AND ENFORCEMENT OF
 ALL APPLICABLE CODES AND
 RESTRICTIONS.

BAY SHORE VILLAGE
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MECH NOTES

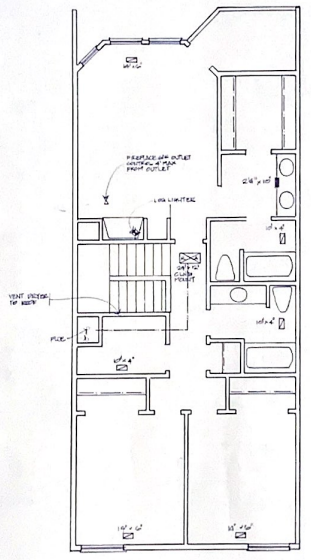
- 1) It shall be the mechanical contractor's responsibility to check and verify all size and type of unit and all air duct sizes, its location and working of coils, its work and duct support.
- 2) It shall be the mechanical contractor's responsibility to connect all refrigeration lines, test and recharge lines as required for split system types.
- 3) Mechanical contractor to supply thermostat and thermostat wire. Wire to be installed and tested as by electrical contractor.
- 4) Mechanical contractor to provide and install all bathroom vent ducts, kitchen hood duct and all other related ducts. Exception: gas water heater vent duct, water heater to be vented by plumbing contractor.
- 5) All wall, floor and ceiling supply and air return registers to be aluminum with in color. See color change in registers to be the responsibility of the owner.
- 6) All ducts to be insulated as per USC, 1004.
- 7) All ducts to be insulated as per USC, 1005.
- 8) Mechanical contractor to locate and set all ceiling, floor and wall ducts. Tracing contractor to provide materials and labor for blowing at each point.
- 9) Mechanical contractor to maintain 6" air clearance for all ducts from attic access. No ducts allowed over attic access.
- 10) Mechanical contractor to allow min. of 3" clearance around all vent pipes from combustible material.
- 11) All vent pipes to be vented or air-sealed properly.
- 12) HVAC shall be certified by C.E.C.
- 13) Even thermostat to be a 7-day programmable unit.
- 14) Provide back draft dampers for each exhaust fan.

PLUMBING NOTES

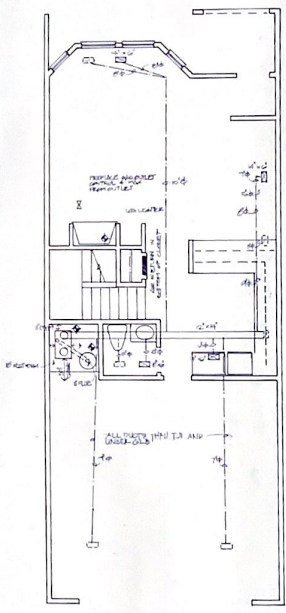
- 1) Plumbing contractor to spot and provide roof pans for all vent pipes, condensation drains or other roof mount gas or water lines prior to roofing.
- 2) Plumbing contractor to hook all gas and water lines to unit or appliance as required.
- 3) Plumbing contractor to check mechanical plans for mechanical duct location and provide proper clearance for ducts. Ducts may be installed later.
- 4) Plumbing contractor to caulk around base of toilet.
- 5) Showerheads and faucet shall be certified by C.E.C.

NOTES

1. REFER TO THE SANITATION AND WASTE DISPOSAL CODES AND REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
2. PLUMBING CONTRACTOR TO VERIFY ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
3. ALL WORK TO BE DONE BY PLUMBER SHALL BE SUBJECT TO CITY HEALTH DEPARTMENT INSPECTION AND APPROVAL.
4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
6. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.
7. ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.



UPPER MECHANICAL PLAN
UNIT C



LOWER MECHANICAL PLAN
UNIT C

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10000 Wilshire Blvd, Suite 1000
Beverly Hills, CA 90210
(310) 274-1111

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CALIFORNIA

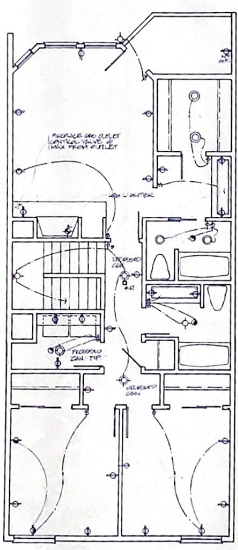
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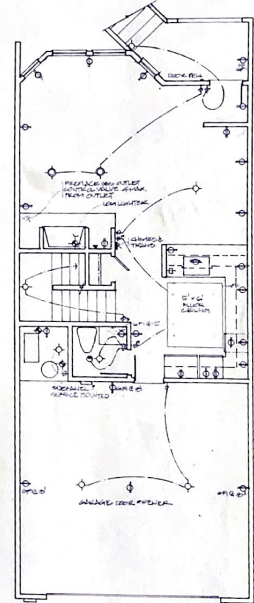
ELECTRICAL NOTES

- 1) It shall be the electrical contractor's responsibility to check and verify the location and type of existing power service, its location and size of main service, meter and any equipment. This information may or may not be shown on plans.
- 2) It shall be the electrical contractor's responsibility to verify location of the foundation contractor. Foundation contractor to supply and install all necessary grounding material.
- 3) Electrical grounding to consist of MEC 250-81 contact with the main for 100% metal water pipe to be supplemented by 200% of bare copper bonded with and over the bottom of a concrete foundation, bonding that is in direct contact with the wall.
- 4) Electrical contractor to provide all bonding, conduit, wire and hardware necessary to complete underground.
- 5) Electrical contractor to provide and install mechanical exhaust fans, venting to outside by mechanical contractor.
- 6) Electrical contractor to provide labor to supply any A.C. units and thermostat. All material supplied by mechanical contractor.
- 7) Electrical contractor to check with local power company for possible service drop code. These additional notes, if any, shall be provided for in electrical bid.
- 8) Electrical contractor to provide light bulbs for each fixture. Provide fixture panels at each sufficient clearance light.
- 9) Electrical contractor to keep all wires a min. 6" above ceiling access, wires less than 6" to be covered for protection.
- 10) Electrical contractor to provide 2.5" dia. schedule 40 PVC conduit, steel and 24" radius sweep for incoming power unless otherwise noted.
- 11) Electrical contractor to spot and provide roof jacks at roof vent A.C. units prior to roofing.
- 12) Electrical contractor to check mechanical plans and plumbing plans for mechanical and location and provide proper clearance for ducts. Ducts may be installed later.
- 13) Smoke Detector shall be provided with separate wiring.
- 14) General lighting for kitchens and bedrooms shall be 20 lumens/sq ft or greater.
- 15) Provide 120 V weather proof outlet within 25'-30" of all roof HVAC air conditioning units, on a G.F.I. circuit.
- 16) Individual branch circuits must be identified in the main or subpanel to indicate the equipment they serve.
- 17) Every outlet shall be provided with a cover unless covered by a fixture, receptacle or similar device.
- 18) Disconnect line required for neutral bus.
- 19) All equipment to have an equipment grounding bus, all grounding of facilities shall meet requirements of Title 8 and 24.
- 20) The electrical sub-contractor shall be responsible for confirming the available short circuit current available, and all service equipment and overcurrent protective devices shall be sized for the available short circuit current as per NEC section 230-96.

1A. ELECTRICAL CONTRACTOR SHALL VERIFY ALL INFORMATION ON BASIS OF FIELD SURVEY. NO WORK TO BE DONE UNLESS APPROVED AND AS NOTED.



ELECTRICAL PLAN
UNIT C



ELECTRICAL PLAN
UNIT C

REVISION	BY

M Group
ARCHITECTS
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(805) 541-4141

OWNER SHALL VERIFY ALL INFORMATION ON BASIS OF FIELD SURVEY. NO WORK TO BE DONE UNLESS APPROVED AND AS NOTED.



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130